

Development Opportunity

Pad Ready Townhome Lots For Sale



Contact:

John B. Harshman, Broker

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1575 Main St., Sarasota, FL 34236

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www.harshmanrealestate.com

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IMPORTANT NOTICE

The information contained herein, while based upon data supplied by the seller and obtained from other sources deemed reliable, is subject to errors or omissions and is not, in any way, warranted by Harshman & Company, Inc. or by any agent, independent associate or employee of Harshman & Company.

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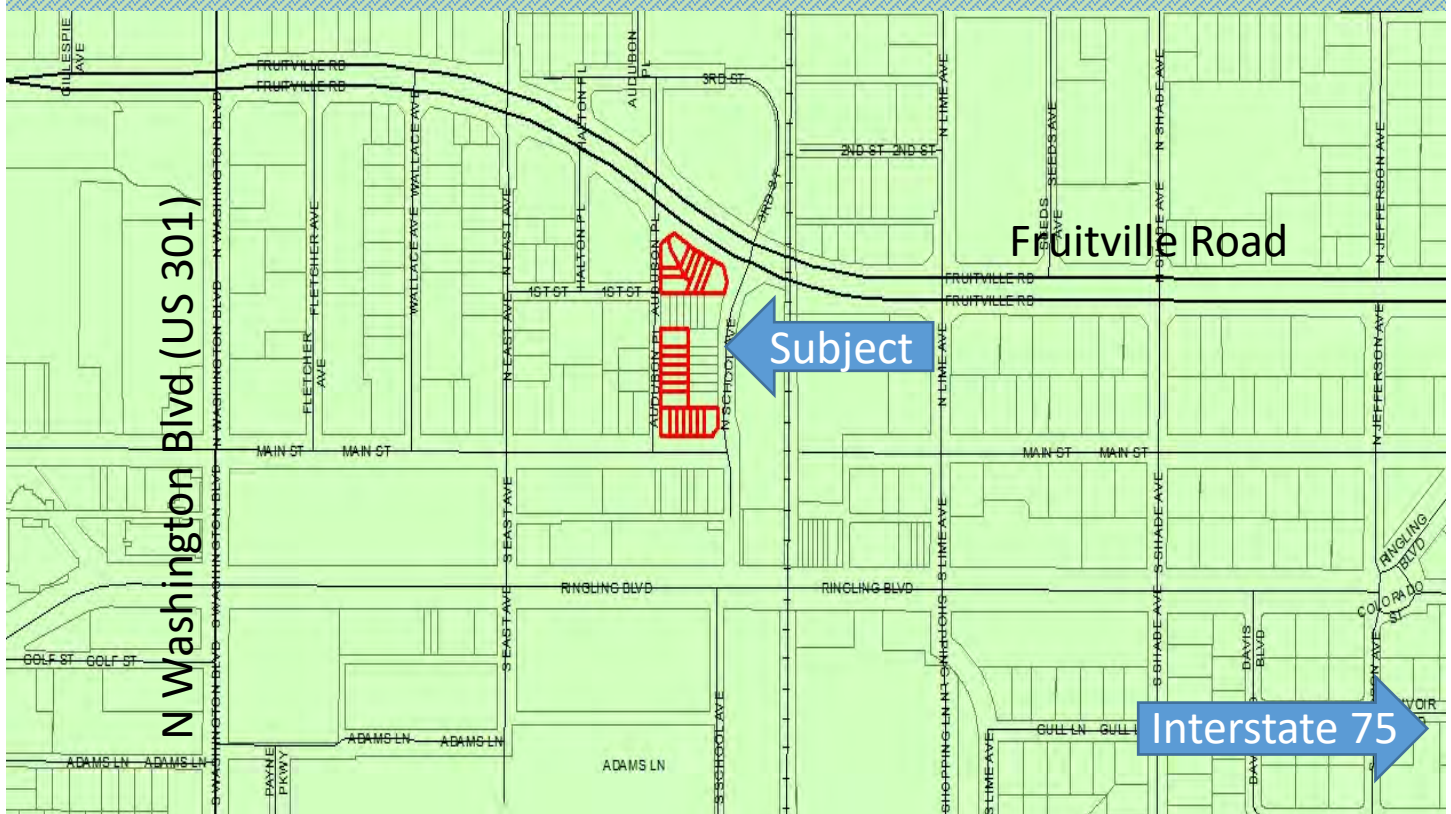
Exclusive Right of Sale Listing

Harshman & Company, Inc. is the Exclusive Listing Agent for the subject property and is presenting this property to Qualified Principal Buyers with expertise in real estate investment and development. Buyers are excluded from Cooperating Broker fees.

Inquiries regarding the property described herein should be directed to:

John B. Harshman, Broker
Harshman & Company, Inc.
1575 Main St.
Sarasota, FL 34236

Phone: 941-951-2002
FAX: 941-366-5818
Email: jbh@harshmanrealestate.com



Property Summary

Price Reduced

Property Description:	The subject is 23 pad ready fee simple town home lots located in The Artisan townhome development which is surrounded by Main St., Audubon Pl., Fruitville Ave. and School Ave. The Artisan is a planned six building town home development with buildings numbered 3 and 4 completed and sites for buildings 1, 2, 5 and 6 remain vacant. Each town home is planned for 3-stories
Owner:	BC School Avenue, LLC
Address:	23 fee simple lots fronting Main Street, Audubon Place and Fruitville Road
Parcel ID#:	2029-04-0135 thru 2029-04-0141 fronting Main Street, 2029-04-0142 thru 2029-04-0148 fronting Audubon Place 2029-04-0163 thru 2029-04-0171 fronting on Audubon Place and Fruitville Road
Land Size:	Lots range in size from 1,357 sq ft to 3,762 sq ft (see plat)
Improvements:	The available sites are vacant and pad ready. Two buildings of the six have been constructed.
Zoning:	DTC (downtown core) City of Sarasota
Opportunity Zone:	The subject is located within the newly IRS created Opportunity Zone. Seek advice from your qualified tax advisor to determine if this is of benefit to you.
Confidentiality:	Please do not have discussion with current occupants or owners of units.
Price:	\$2,277,000 (\$99,000 per unit)

Frequently Asked Questions

- 3 constructed units are closed and occupied
- 5 constructed units are under contract to purchase
- 6 units are completed and being marketed for sale
- HOA and Plat documents have been recorded and would be assigned at closing
- All architectural and engineering plans are included in the sale and will be assigned at closing
- Building #6 has building permits in place and will be assigned at closing
- Community or Neighborhood Association Restriction and Rules and Regulations
- Changing the use from townhouses to live/work or other non-residential use would require a site plan amendment and changes to the R&R.
- Approved Plat, HOA and zoning approvals prohibit alternate residential product
- Vacating lot lines would require a site plan amendment and plat revision



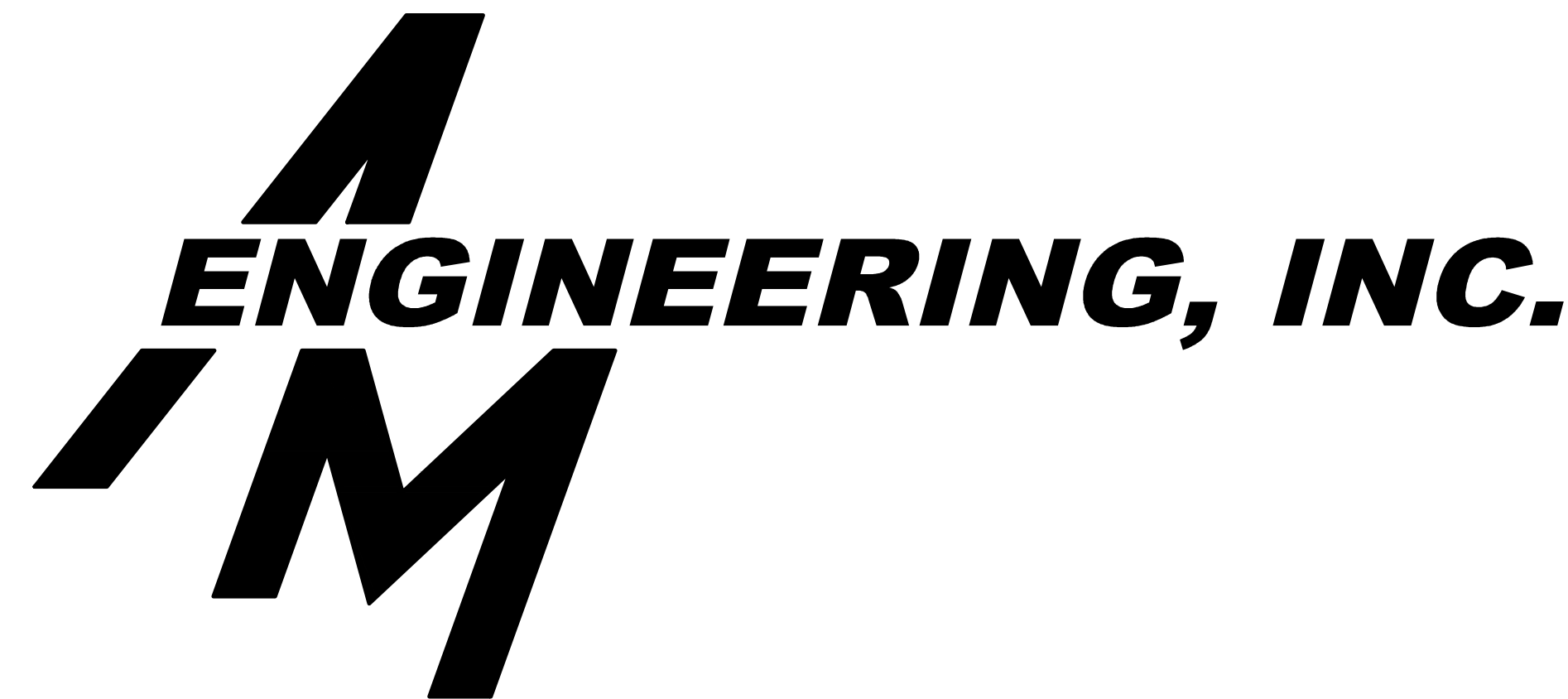
- 1) SEE LANDSCAPE & ARCHITECTS PLANS FOR DETAILS OF PROPOSED LANDSCAPING AND FINISHES.
- 2) WHERE APPLICABLE ALL NEW PAVEMENT AND ASPHALT OVERLAY TO MATCH ALL REMAINING UNDISTURBED PAVEMENT AND WALKWAYS. MATCH EXISTING PAVEMENT BY SAW CUTTING AND APPLICATION OF PRIME AND TACK COATS.
- 3) THE WORK EMBRACED HEREIN, WITHIN THE RIGHT-OF-WAY, SHALL BE DONE IN ACCORDANCE WITH BOTH THE "SPECIAL PROVISIONS FOR CONSTRUCTION" OF THE CITY OF SARASOTA AND THE "ENGINEERING DESIGN CRITERIA MANUAL (E.D.C.M.)".
- 4) CONSTRUCTION EQUIPMENT IS TO BE PLACED ON THE CONSTRUCTION SITE (PRIVATE PROPERTY) ONLY, NO STREET IS TO BE UTILIZED DURING CONSTRUCTION BY STORING MATERIAL OR EQUIPMENT (UNLESS SPECIFICALLY PERMITTED BY THE CITY ENGINEER).
- 5) CONSTRUCTION OF SITE IMPROVEMENTS SHALL COMMENCE WITHIN ONE YEAR OF CITY ENGINEER CERTIFICATION OR BECOME INVALID.
- 6) THE REPLACEMENT OF SIDEWALKS AND CURB AND GUTTER SHALL ONLY LAG ITS REMOVAL.
- 7) A MAXIMUM (2) WEEKS, UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
- 8) ALL SURVEY MARKERS (BOTH VERTICAL AND HORIZONTAL) WITHIN THE GENERAL VICINITY, SHALL BE CONTINUOUSLY PROTECTED, ANY MARKERS DISTURBED OR DAMAGED SHALL BE REPLACED BY A PROFESSIONAL SURVEYOR/MAPPER AND CERTIFIED TO THE CITY ENGINEER PRIOR TO RELEASE OF PROJECT CERTIFICATE OF OCCUPANCY.
- 9) A LANDSCAPE AGREEMENT MUST BE OBTAINED FROM THE CITY OF SARASOTA ENGINEERING DEPARTMENT FOR ANY LANDSCAPING AND/OR IRRIGATION FACILITIES WITHIN THE RIGHT OF WAY.
- 10) EXISTING TRAFFIC CONTROL SIGNS SHALL BE REMOVED, STORED, RELOCATED AND/OR DELIVERED TO THE CITY OF SARASOTA PRIOR TO THE COMMENCEMENT OF THIS PROJECT.
- 11) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING BOTH DRIVEWAY AND RIGHT OF WAY CONSTRUCTION PERMITS FROM THE CITY OF SARASOTA ENGINEERING DEPARTMENT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY WITHIN THE RIGHT OF WAY.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL CONSTRUCTION RELATED SILTATION AND EROSION WHICH MAY OCCUR (SEE DETAILS AND NOTES ON SHEETS X & X).
- 13) THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL CENTER, FPL&L AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ONSITE OR OFFSITE SO THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
- 14) PLANT NO TREES AND NO HEDGES IN DRAINAGE SWALES OR IN THE FILTRATION AREAS OF ATTENUATION BASINS THAT MAY CREATE A NEGATIVE EFFECT ON THE ATTENUATION FACILITY, I.E., BLOCKING FLOW, CLOGGING INFILTRATION.
- 15) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 16) THE DEMOLITION/REMOVAL OF EXISTING STRUCTURES AND AMENITIES IF ANY REQUIRES A PERMIT WHICH IS TO BE ISSUED BY THE CITY OF SARASOTA AND APPLIED FOR BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- 17) THE GENERAL CONTRACTOR SHALL COORDINATE UTILITY CONNECTIONS WITH THE APPROPRIATE AUTHORITIES PRIOR TO MAKING CONNECTIONS; PROVISION SHALL BE MADE FOR CONTINUATION OF SERVICE TO ALL PARTIES WITHOUT INTERRUPTION.
- 18) PROPOSED USE: CONDOMINIUM
- 19) BOUNDARY, TIE & TOPOGRAPHIC INFORMATION IS BASED ON SURVEY PROVIDED BY STOUTEN CRAWER, INC. - [LATEST REVISION DATE: 10/21/15].
BASED ON NGS BENCHMARK DESIGNATION "S-700", N.A.V.D 1988
- 20) DOMESTIC WATER SERVICE TO BE PROVIDED BY THE CITY OF SARASOTA
- 21) CENTRAL SEWER SERVICE TO BE PROVIDED BY THE CITY OF SARASOTA
- 22) REQUIRED BUILDING SETBACKS:
FRONT = 0 ; 5' PRIMARY STREET
SIDE = 0
REAR = 0

SCHOOL AVENUE TOWNHOMES

DEVELOPER: ICON RESIDENTIAL
2190 BELCHER RD S., SUITE B
LARGO, FL 33771
(813) 416-7913

SURVEYOR: STOUTEN CRAMER, INC.
324 NICHOLAS PKWY WEST, SUITE F
CAPE CORAL, FL 33991
(239) 673-9541

DWG. NO.	DESCRIPTION
1	COVER SHEET
2	AERIAL PHOTOGRAPH
3	EXISTING CONDITIONS / DEMOLITION PLAN
4	MASTER SITE PLAN
4A	TRUCK TURN TEMPLATES
5	PAVING, GRADING & DRAINAGE PLAN
5A	NORTH STORM VAULT DETAILS
5B	SOUTH STORM VAULT DETAILS
6	PAVING, GRADING & DRAINAGE DETAILS
7	STORMWATER POLLUTION PREVENTION PLAN
8	MASTER UTILITY PLAN
8A	PLAN & PROFILES
9	WATER & SEWER DETAILS



PARCEL 1:
LOTS 7, 8 AND 9, BLOCK F, AUDUBON PLACE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 22, LESS THAT PORTION DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 1737, PAGE 1581, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA;

AND

PARCEL 2:

LOTS 1 THROUGH 16, BLOCK B, ATLANTIC SQUARE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 206 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA;

TOGETHER WITH THAT PORTION OF VACATED SCHOOL AVENUE, DESCRIBED AS RIGHT OF WAY VACATION PARCEL NO. 2 IN ORDINANCE NO. 98-4090 RECORDED JANUARY 19, 1999 IN OFFICIAL RECORDS INSTRUMENT #1999010242, AS CORRECTED BY OFFICIAL RECORDS INSTRUMENT #1999102291, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING ADJACENT THERE, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT A 4" X 4" CONCRETE MONUMENT FOUND AT THE SOUTHWEST CORNER OF LOT 1, BOULEVARD CANTER SUBDIVISION, RECORDED IN PLAT BOOK 8, PAGE 108, BLOCK 8, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF RINGLING BOULEVARD, N 89 DEG. 57'14" W, 172.90 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE, N 00 DEG. 02'37" W, 305.50 FEET; THENCE S 89 DEG. 43'09" W, 78.68 FEET, TO A 4" X 4" CONCRETE MONUMENT WITH DISK STAMPED PRN #1195, FOUND AT THE SOUTHEAST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 1, PAGE 206 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE WASTERLY RIGHT OF WAY LINE OF SCHOOL AVENUE, N 00 DEG. 03'07" W, 100.00 FEET, TO THE POINT OF BEGINNING OF LAND BEING DESCRIBED;

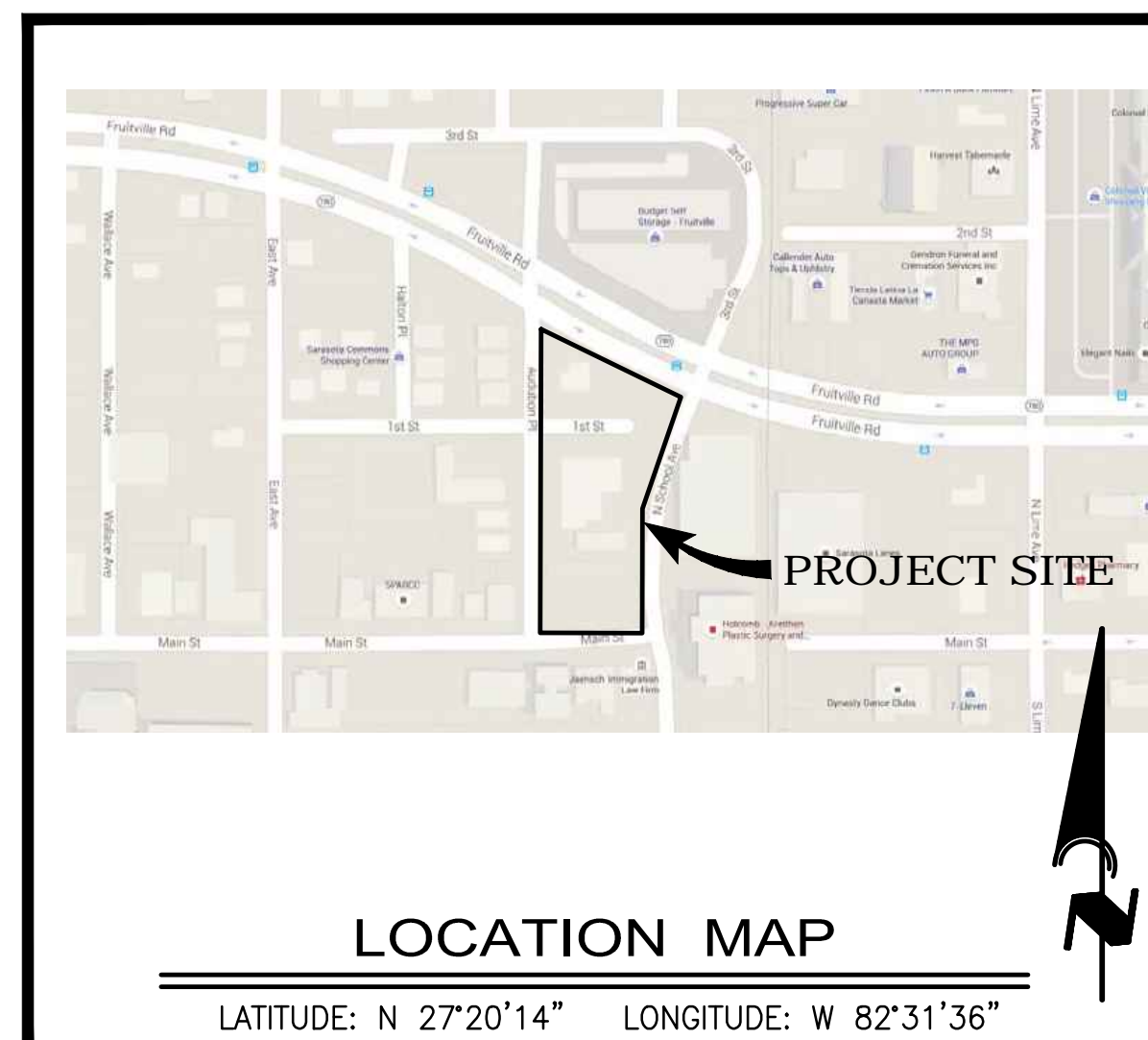
TENCE CONTINUE ALONG SAID WESTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE, N 00 DEG, 03'07"W, 213.99 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED AM ENG LB 4334 FOUND AT THE NORTHEAST CORNER OF LOT 5, BLOCK "B", OF SAID ATLANTIC SURVEY SUBDIVISION; TENCE BEAR S68 D13'10"E, 49.57 FEET TO THE SOUTHWEST CORNER OF LOT 9, BLOCK "F", ADJUNCTION PLACE, A SUBDIVISION RECORDED IN PLAT BOOK "AT" JUNE 22, 1924, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE EAST ALONG SAID LOT 9, N 11° 17' 27" E, 117.72 FEET TO THE SOUTHWEST CORNER OF PLOT 141, RIGHT OF WAY FOR STATE ROAD NO. 1704N, RECORDED IN OFFICIAL RECORDS BOOK 1737, PAGE 1581, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE S 18 D 23'14" E, 39.8 FEET; THENCE S 20 D 24'47" W, 17.46 FEET TO THE BEGINNING OF A TANGENTIAL CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 360.0 FEET AND A DELTA ANGLE OF 20 DEG 24'57"; WHOSE CHORD BEARS S 10 D 125'4"W, THENCE ALONG SAID CURVE SOUTHERLY AND WESTERLY 126.36 FEET, THENCE S 25 D 24'57" W, THENCE TANGENT TO THE LAST CURVE, SOUTH 11° 25' 28" E, THENCE WEST, 12.80 FEET TO THE POINT OF BEGINNING.

AND ALSO TOGETHER WITH VACATED FIRST STREET AS DESCRIBED IN ORDINANCE NO. 91-3521 RECORDED FEBRUARY 27, 1992 IN OFFICIAL RECORDS BOOK 2371, PAGE 2684, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

LOTS 17-24, INCLUSIVE, BLOCK B, ATLANTIC SQUARE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

TOGETHER WITH THAT PORTION OF VACATED SCHOOL AVENUE LYING IN SECTION 20, TOWNSHIP 36 SOUTH, RANGE 18 EAST SARASOTA COUNTY, FLORIDA, AS DESCRIBED IN ORDINANCE NO. 98-4090, AS RECORDED IN OFFICIAL RECORDS INSTRUMENT #1999070742, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING ADJACENT TO LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 1, PAGE 206, OF SAID PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

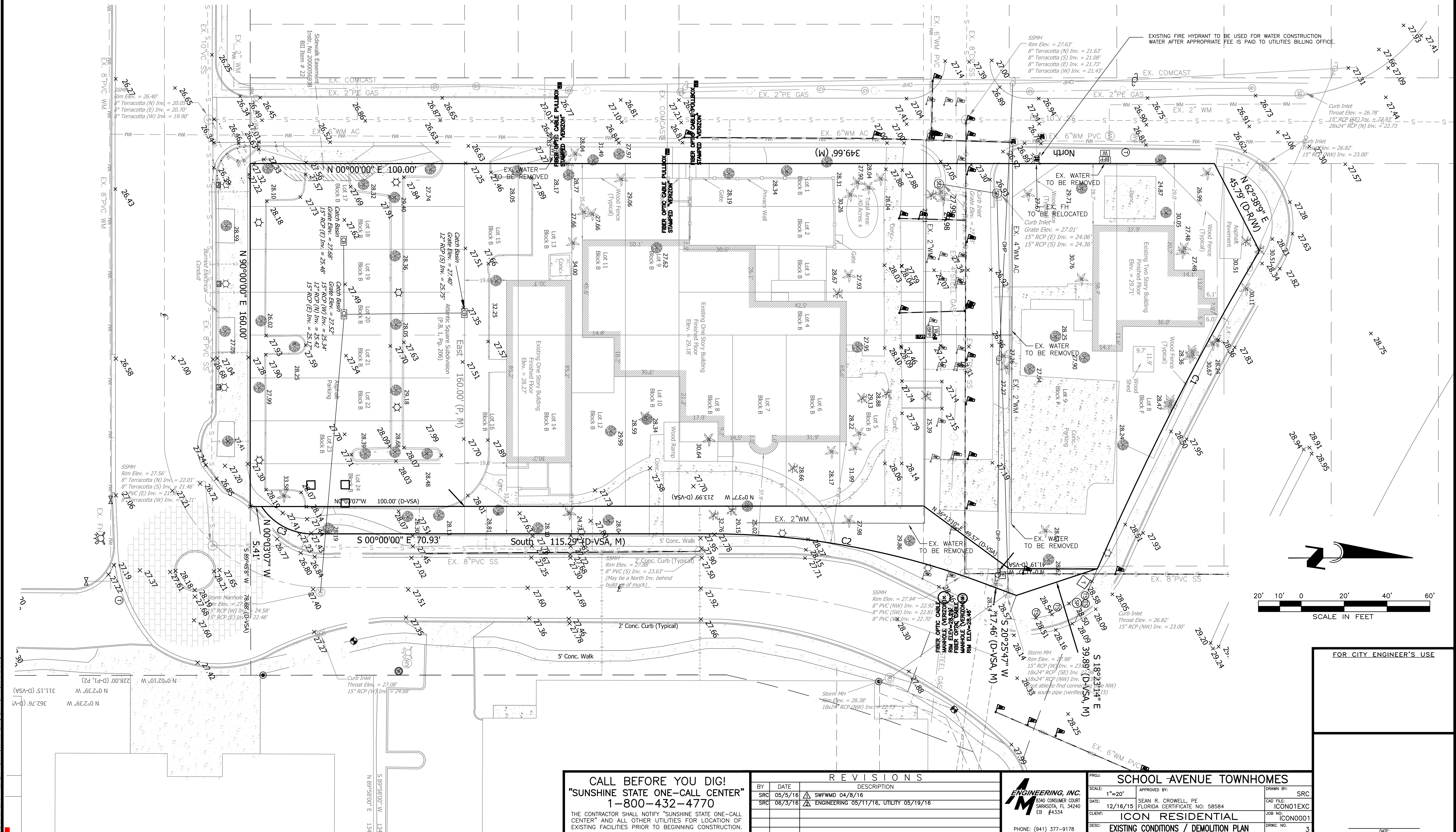
COMMENCE AT A 4' X 4" CONCRETE MONUMENT FOUND AT THE SOUTHWEST CORNER OF LOT 1, BOULEVARD CANTER SUBDIVISION, RECORDED IN PLAT BOOK 8, PAGE 108, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF RINGLING BOULEVARD, N 89 DEG. 57'14", 172.90 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE, S 89 DEG. 57'14", 172.90 FEET TO THE SOUTHWEST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, STAMPED PRM #1195, FOUND AT THE SOUTHEAST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE WESTERLY RIGHT OF WAY LINE OF SCHOOL AVENUE, N 00 DEG. 00'00", 172.90 FEET TO THE SOUTHWEST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, STAMPED PRM #1195, FOUND AT THE SOUTHWEST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE CONTINUE ALONG SAID WESTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE, N 00 DEG. 03'07", 94.50 FEET TO THE NORTHEAST CORNER OF SAID LOT 24, BLOCK "B"; THENCE RUN EAST, 12.80 FEET; THENCE RUN SOUTH 70.94 FEET TO THE BEGINNING OF A TANGENTIAL CURVE, 12.80 FEET LONG, BEARING S 89 DEG. 57'14" E, 172.90 FEET TO THE SOUTHWEST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, STAMPED PRM #1195, FOUND AT THE SOUTHWEST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE CONTINUE ALONG SAID CURVE SOUTHERLY AND CLOCKWISE, 28.70 FEET TO THE POINT OF BEGINNING.

[illegible]

SEAN R. CROWELL
DATE _____
FLORIDA P.E. No. #58584

FOR CITY ENGINEER'S USE ONLY

CITY OF SARASOTA UTILITY NOTES:
OWNER WILL CAP UNUSED WATER AND SEWER SERVICES SERVING THIS SITE AT THE CITY MAIN.
THEY SHALL BE ABANDONED AND GROUT FILLED OR REMOVED.
ABANDONMENT OF UTILITIES AND OR INSTALLATION OF PROPOSED UTILITIES LOCATED IN THE R/W
WILL BE ACCOMPLISHED BY THE OWNER THROUGH THE ISSUANCE OF A R/W USE AND UTILITY
CONSTRUCTION PERMIT.
THE VALVES LOCATED ON AUDUBON PLACE FOR THE 2" AND 4" WATER MAINS FEEDING THIS
PROJECT NEED TO BE TURNED OFF. THIS ACTION NEEDS TO BE COORDINATED WITH THE COSU
UTILITIES DEPARTMENT. CONTACT IRA JENKINS AT IRA.JENKINS@SARASOTAGOV.COM
THE EXISTING WATER METERS CANNOT BE REMOVED AND CURB STOPS TURNED OFF BEFORE THE
UTILITIES DEPARTMENT IS CONTACTED.



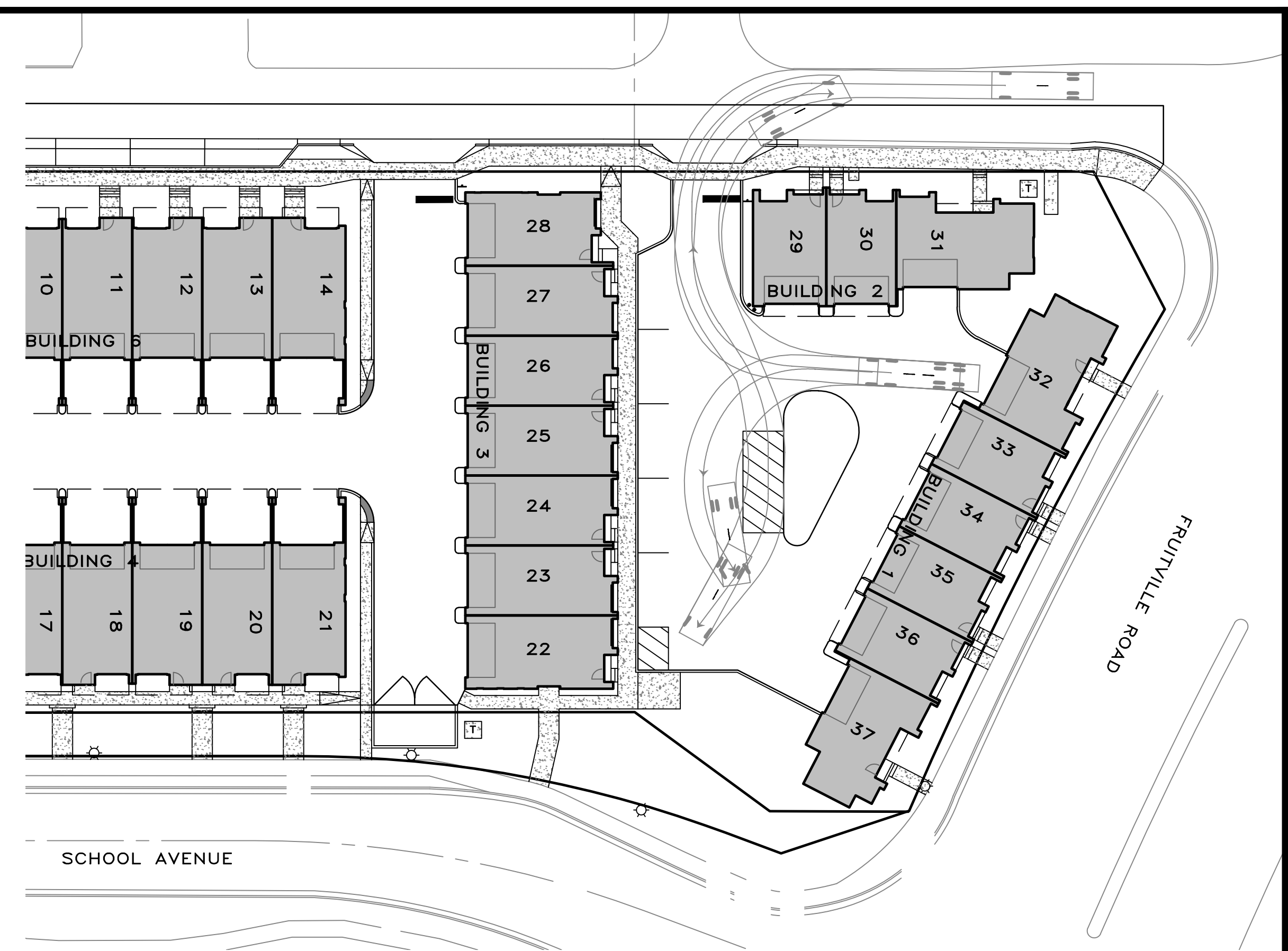
CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16

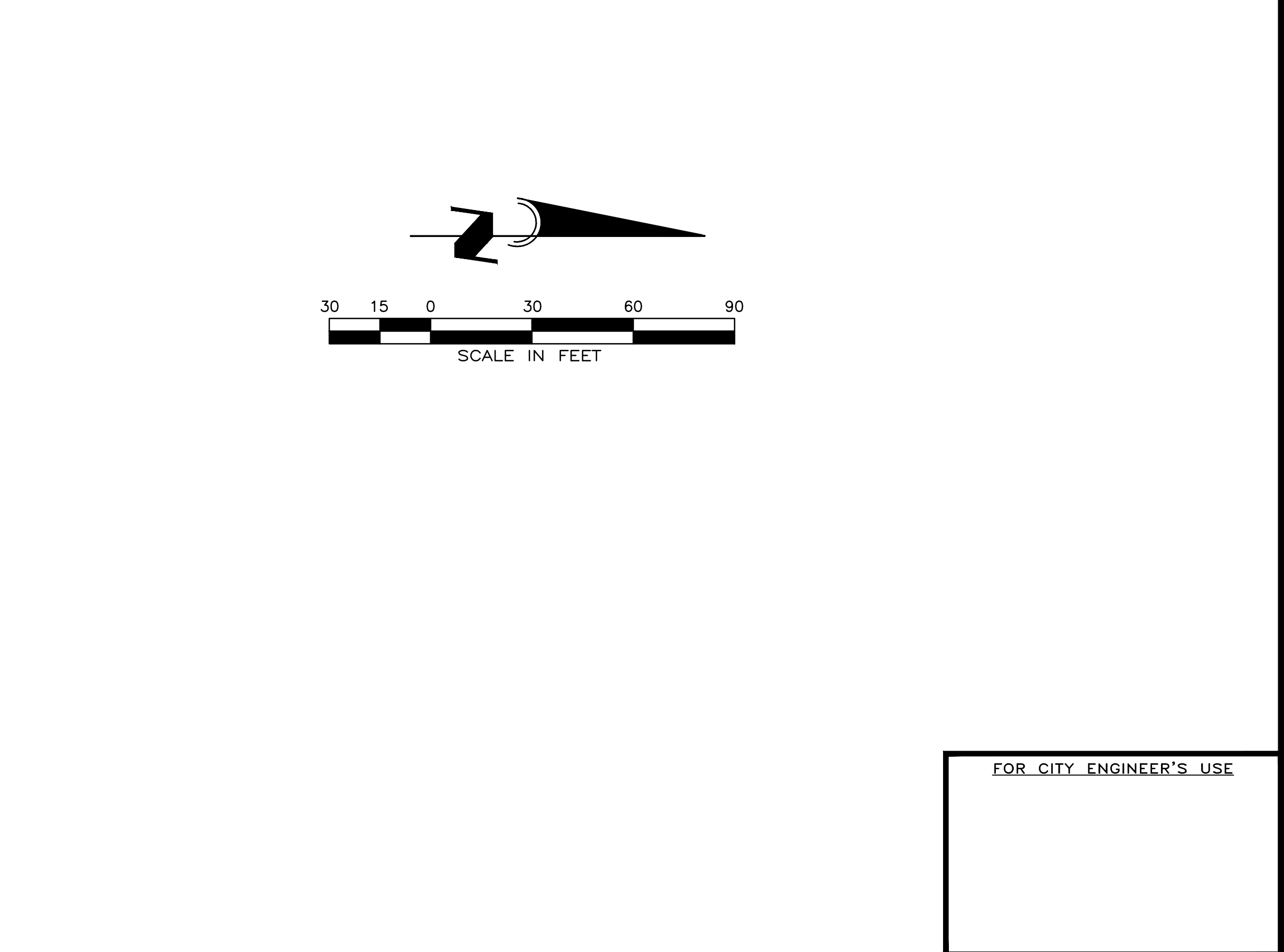
ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

SCHOOL AVENUE TOWNHOMES		
SCALE: 1"=20'	APPROVED BY: SEAN R. CROWELL, PE	DRAWN BY: SRC
DATE: 12/16/15	FLORIDA CERTIFICATE NO: 58584	CAD FILE: ICON01EXC
CLIENT: ICON RESIDENTIAL	JOB NO: #4334	JOB NO: #4334
DESC: EXISTING CONDITIONS / DEMOLITION PLAN	DRWG. NO. 3	DATE:

FOR CITY ENGINEER'S USE

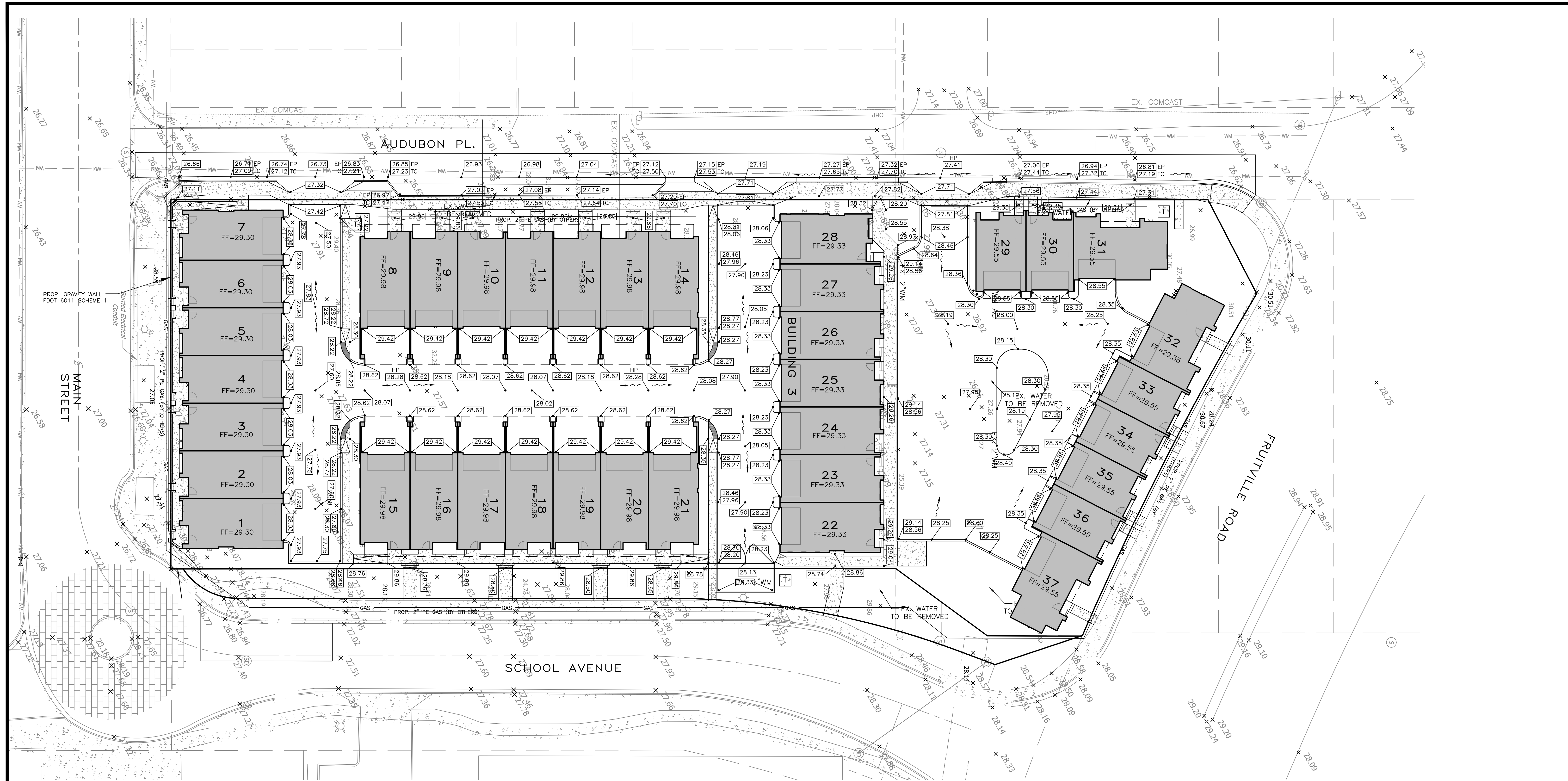


DELIVERY TRUCK TURNING MOVEMENT



PROJECT: SCHOOL AVENUE TOWNHOMES		DRAWN BY: SRC	
SCALE: 1"=30'	APPROVED BY:	CAD FILE: ICON01TURN	
DATE: 12/16/15	SEAN R. CROWELL, PE FLORIDA CERTIFICATE NO: 58584	JOB NO: ICON000121	
CLIENT: ICON RESIDENTIAL			
DESC: TRUCK TURN TEMPLATES		DWG. NO. 4A	

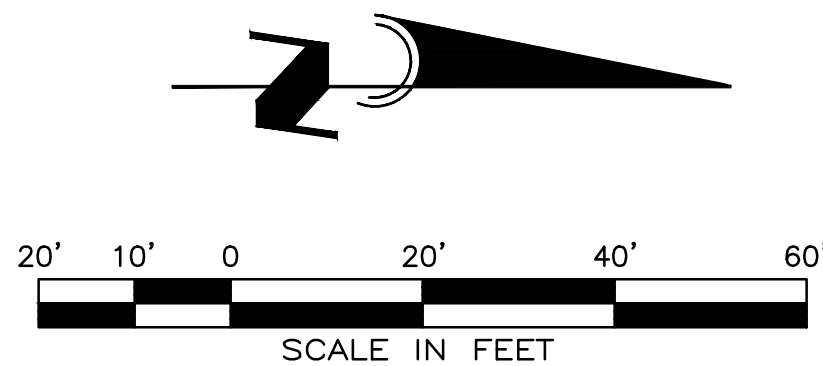
DATE: _____



THE CONTRACTOR SHALL MILL, REGRADE (AS REQUIRED) AND RESURFACE 10 FEET FROM CURB TO PROVIDE THE PROPOSED ELEVATIONS AS ILLUSTRATED ON THIS PLAN ON AUDUBON PL.

THE FRONT EDGE OF THE CURB SHALL BE STRAIGHT AND LEVEL AND IF REQUIRED THE STREET MAY NEED TO BE MILLED AND OVERLAID TO INSURE THE PAVEMENT HAS A POSITIVE SLOPE AWAY FROM THE CROWN OF THE ROAD TO THE CURB FLOW LINE. THE PAVEMENT RESTORATION SHALL BE A REASONABLY UNIFORM TEXTURE WITH NO DEVIAE IN EXCESS OF 1/4 INCH WITH A STRAIGHTEDGE APPLIED TO THE PAVEMENT PERPENDICULAR TO THE CENTERLINE AND IF REQUIRED A PORTION OF THE PAVEMENT SHALL BE MILLED AND RESURFACED.

PIPE JOINTS AND CONNECTIONS SHALL BE WRAPPED WITH FILTER FABRIC 12 INCHES ON EITHER SIDE OF JOINT AND OVERLAPPED BY 2 FT. PIPE CONNECTIONS TO INLETS OR JUNCTION BOXES JOINTS GREATER THAN 2-1/2 INCHES SHALL BE FILLED WITH BRICKS PRIOR TO GROUTING THE JOINT. THE OUTSIDE CONNECTION POINT SHALL HAVE A BITUMINOUS COATING ON THE STRUCTURE AND PIPE THEN FILTER FABRIC WRAPPED 12 INCHES ON EITHER SIDE OF THE GROUTED JOINT TO STRUCTURE JOINT.



ROOF DRAINAGE:
ALL DOWNSPOUT SHALL DISCHARGE TO THE ONSITE PAVEMENT SO THAT ROOF RUNOFF DRAINS TO THE STORMWATER MANAGEMENT SYSTEM.

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770

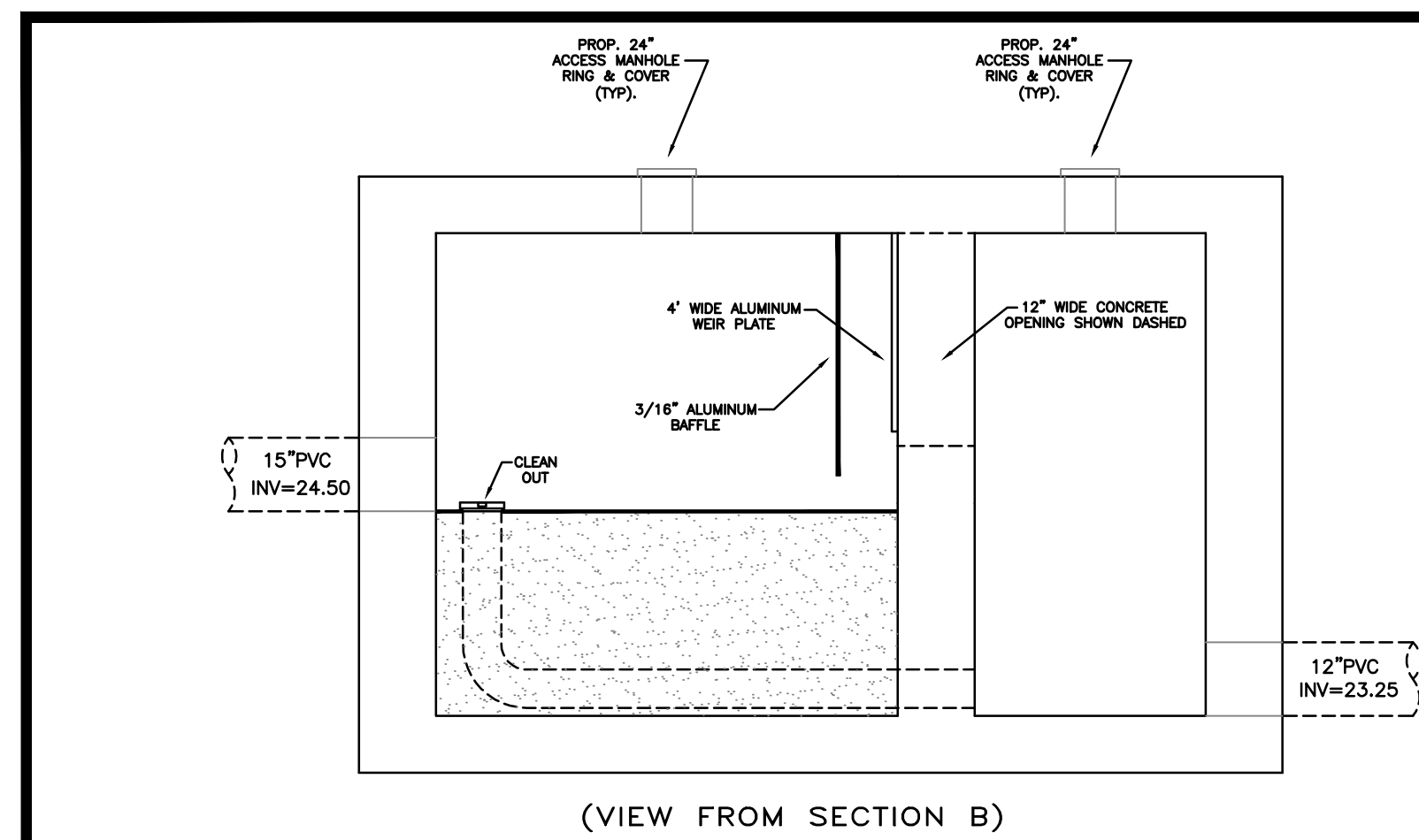
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/13/16	STORMTRAP COORDINATION
SRC	06/3/16	UTILITY 06/29/16

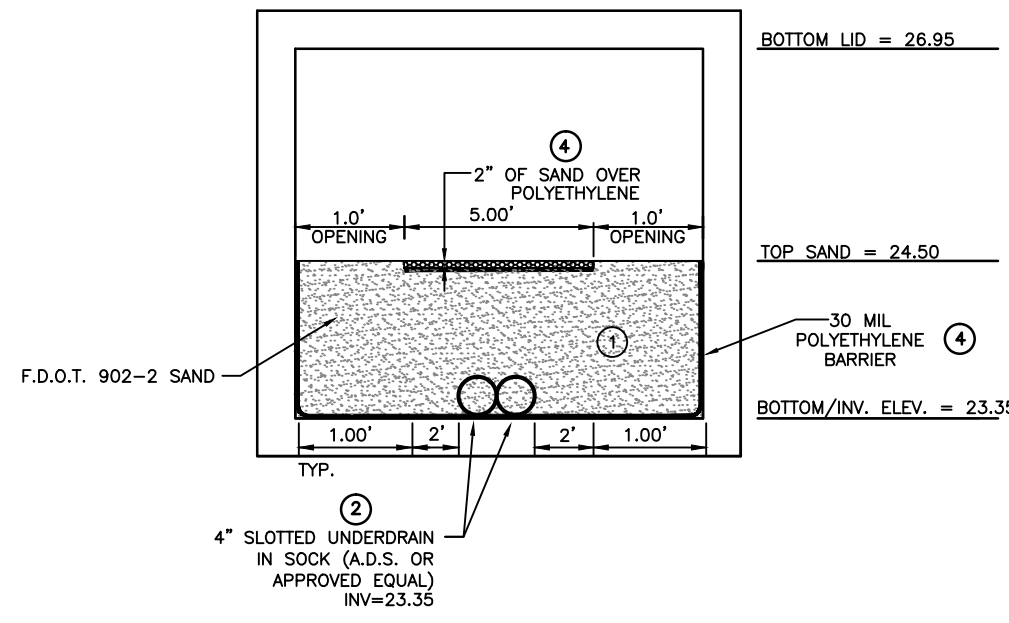
ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

SCHOOL AVENUE TOWNHOMES			
SCALE: 1"=20'	APPROVED BY:	SEAN R. CROWELL, PE	FLORIDA CERTIFICATE NO: 58584
DATE: 12/16/15	CLIENT:	ICON RESIDENTIAL	JOB NO: ICON0001
DESC: PAVING, GRADING & DRAINAGE PLAN	DRWG. NO.	5	DATE:

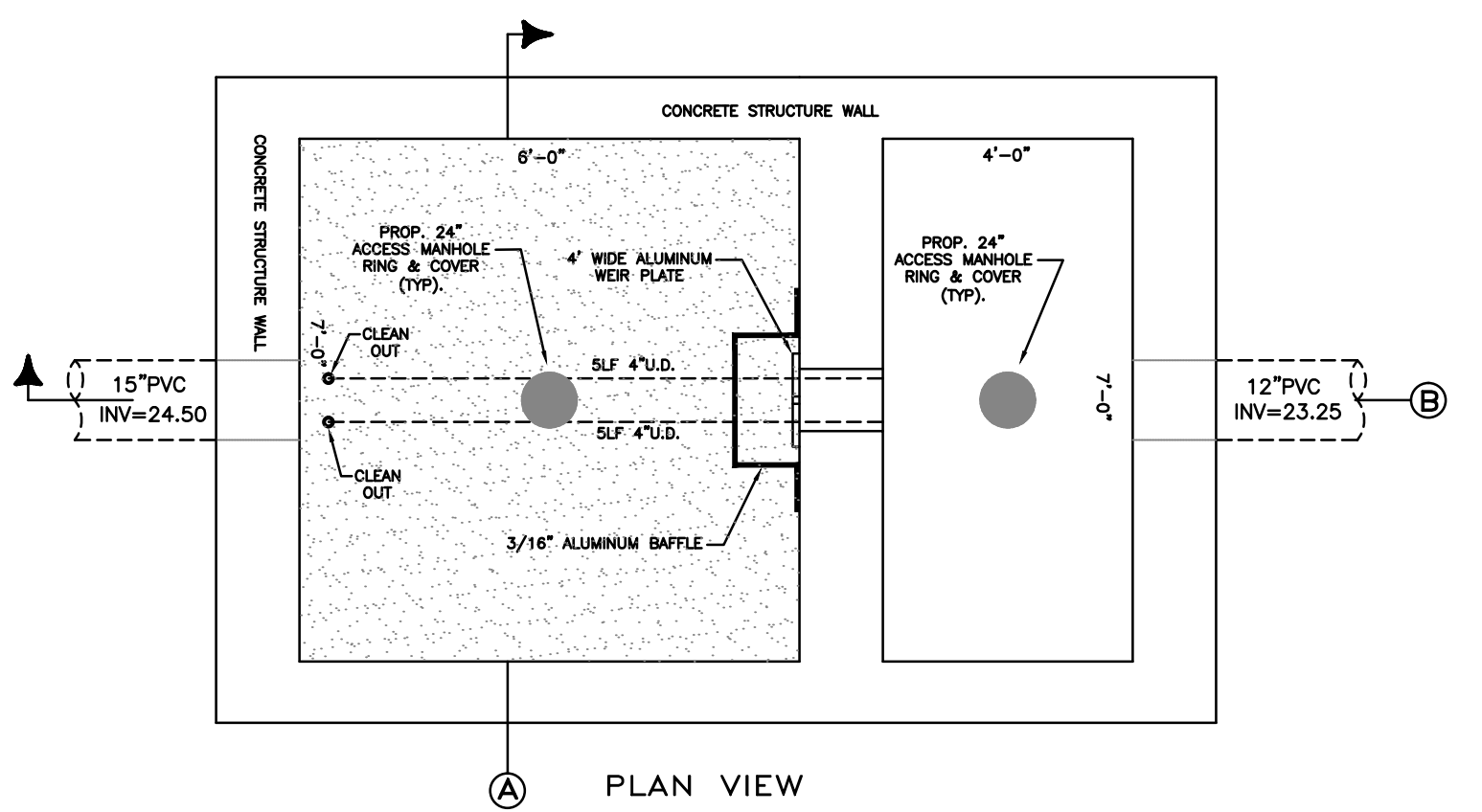
FOR CITY ENGINEER'S USE



(VIEW FROM SECTION B)



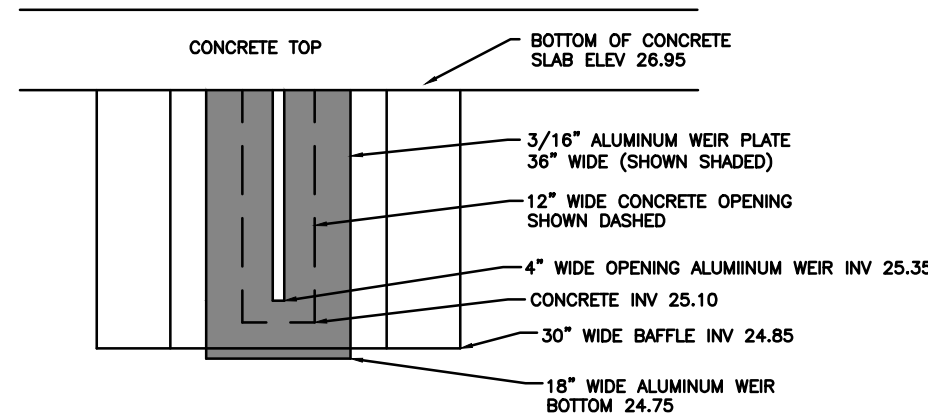
(VIEW FROM SECTION A)



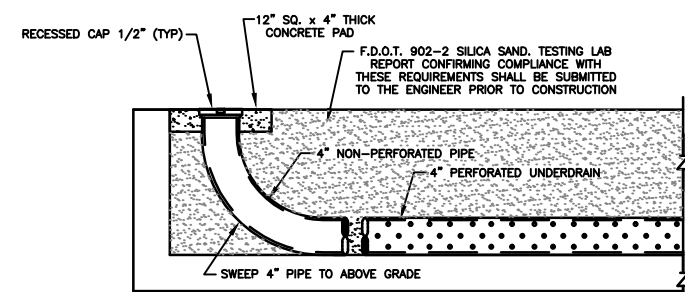
PLAN VIEW

NORTH VAULT PROPOSED REINFORCED CONCRETE STORMWATER CONTROL STRUCTURE/TREATMENT VAULT

- (1) FOR FINAL DESIGN OF PRECAST SLABS, VAULT WALLS, FOOTINGS, BOTTOM SLAB AND REINFORCEMENT SEE STRUCTURAL PLANS BY OTHERS.
- (2) EXTERIOR OF STORMWATER VAULT SHALL BE PROVIDED WITH A WATERPROOF SEALANT AS SPECIFIED BY THE STRUCTURAL ENGINEER.
- (3) STORM WATER VAULT SHALL BE DESIGNED TO SUSTAIN A MINIMUM H2O LIVE LOAD. STRUCTURAL ENGINEER TO VERIFY WITH ARCHITECT EXPECTED LIVE LOAD FOR DESIGN CONDITIONS.
- (4) VOLUME = 3,455 CUBIC FEET



OUTLET WEIR DETAIL (VAULT 1)
N.T.S.



4" UNDERDRAIN CLEANOUT DETAIL

N.T.S.

UNDERDRAIN NOTES

(1) FILTER AGGREGATE FOR UNDERDRAIN SHALL CONSIST OF WASHED MATERIAL MEETING FOOT

ROAD & BRIDGE SPECIFICATIONS FOR SAND & GRAVEL CONTAINING LESS

THAN 15 (BY WEIGHT) OF SALT, CLAY AND ORGANIC MATTER. SAND MATERIAL SHALL HAVE

UNIFORMITY COEFFICIENT OF 1.5 OR GREATER. AN EFFECTIVE GRAIN SIZE OF 0.075 - 0.05

MILLIMETER AND SIEVE ANALYSIS (IN PERCENT OF TOTAL WEIGHT PASSING) AS FOLLOWS:

3/8" - 95 - 100% NO.30 - 25 - 70%

NO.4 - 95 - 100% NO.50 - 5 - 30%

NO.10 - 95 - 100% NO.100 - 0 - 7%

NO.16 - 95 - 97% NO.200 - MAX. - 2%

THE AGGREGATE SHALL BE FREE OF ORGANIC MATTER AND OTHER DELETERIOUS MATERIALS.

WASHED SHALL A LAMPROCK SHALL NOT BE USED FOR FILTER AGGREGATE PERMEABILITY

OF THE AGGREGATE SHALL BE 5.4 FT/HR MINIMUM.

(2) THE UNDERDRAIN SHALL BE SLOTTED CORRUGATED POLYETHYLENE PIPE A.S.T.M. F-405-77 OR

ALASKA-10. M-252 HAVING A MINIMUM SLOTTED AREA OF 1 SQ. IN/FT OF PIPE MANUFACTURED

BY A.S.S. OR APPROVED EQUIVALENT. PIPE SHALL BE PERFORATED WITH FILTER FABRIC.

(3) TESTING:

THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIEVE ANALYSIS AND PERCOLATION

TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY PRIOR TO BACKFILLING OPENING AS SHOWN ON DETAIL.

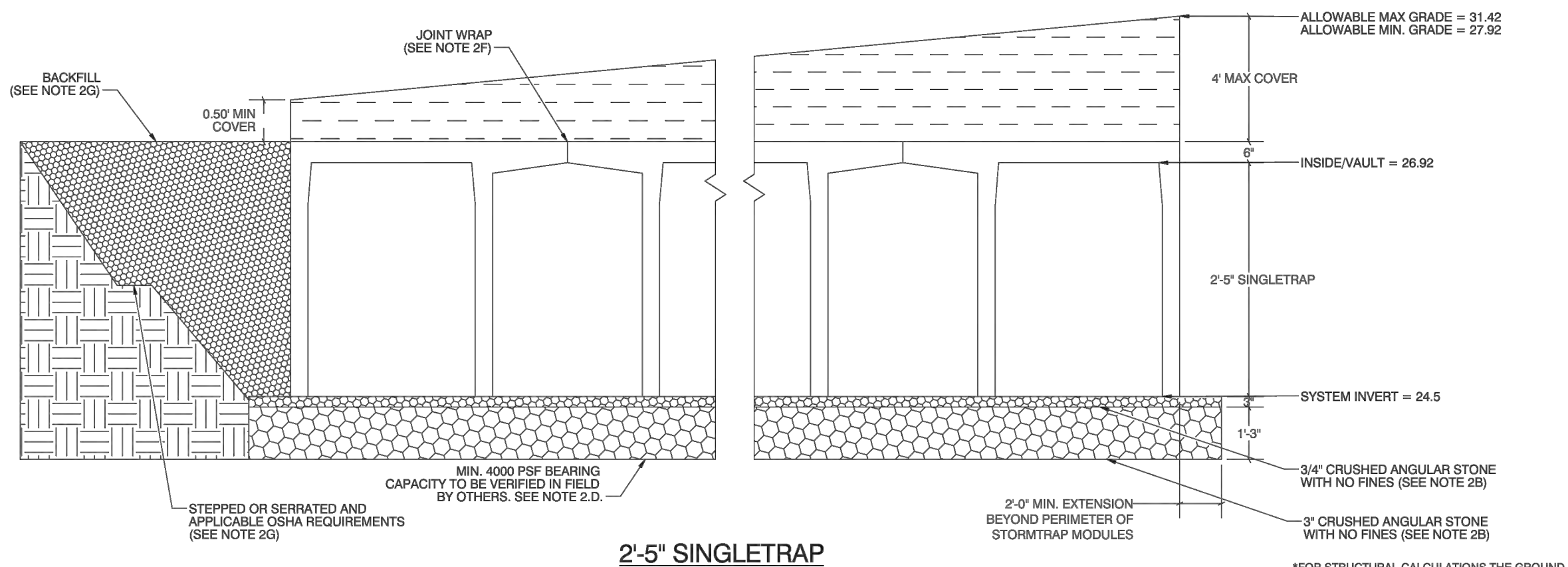
OF THE FILTER AGGREGATE MATERIAL ON SITE. FAILURE TO MEET THE SPECIFIED PERMEABILITY

OR SIEVE ANALYSIS WILL BE CAUSE FOR REJECTION OF THE MATERIAL.

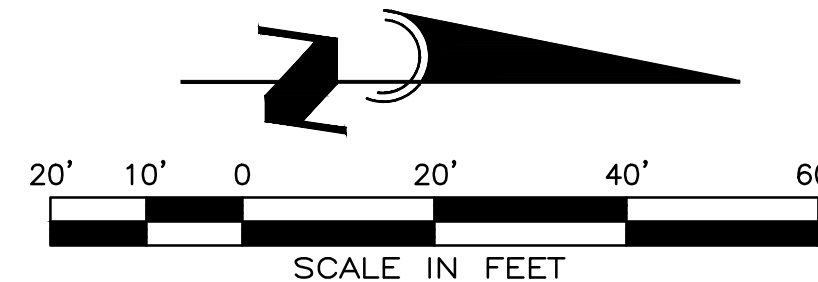
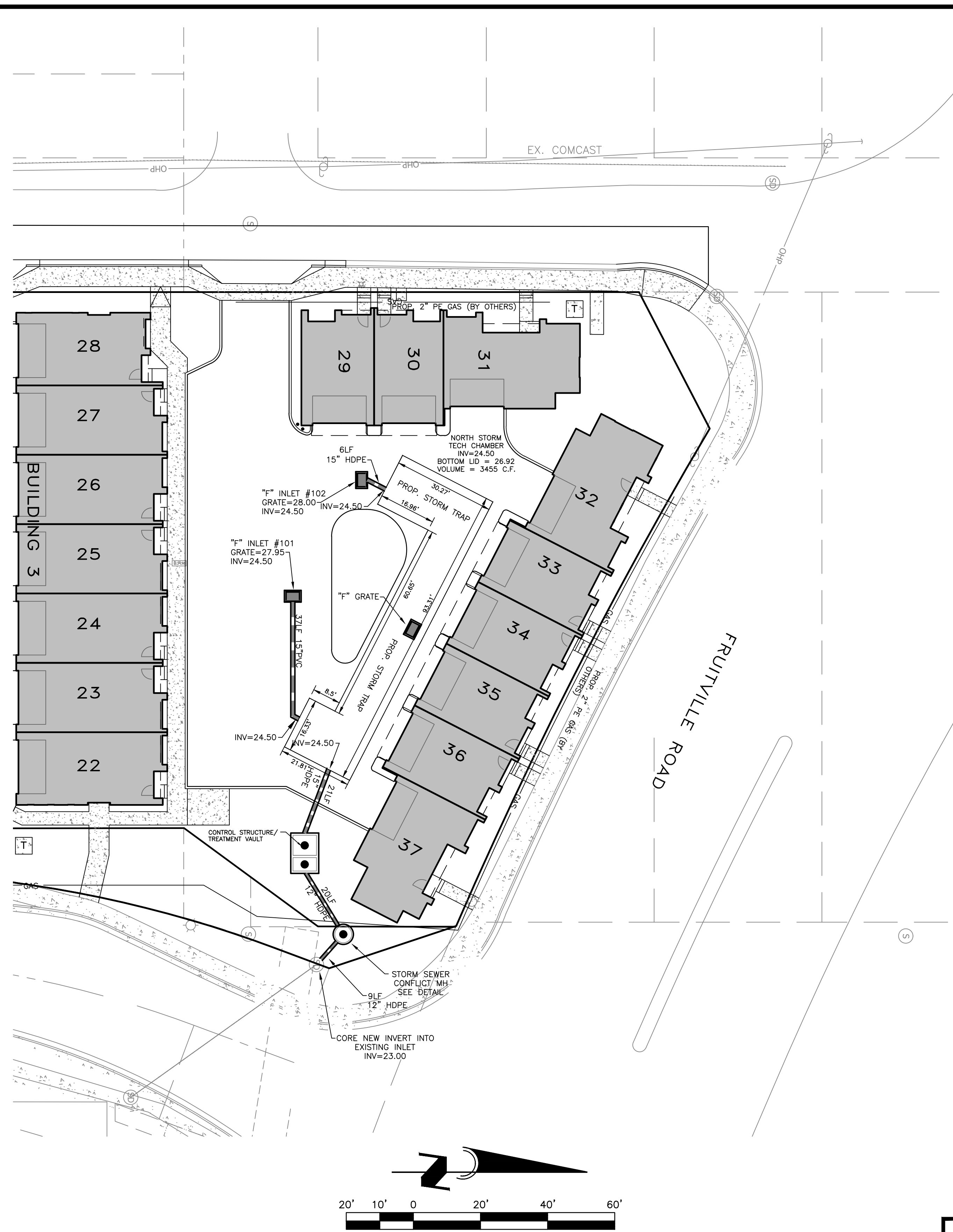
(4) 30 MIL POLYETHYLENE BARRIER OR APPROVED EQUIVALENT. LINE COMPLETE UNDERDRAIN

UNDERDRAIN DETAIL - VAULT

N.T.S.



NORTH STORM TRAP DETAIL
N.T.S.



- * TYPE "C" GRATES IN ACCORDANCE WITH FDOT INDEX NO. 232. CONTRACTOR TO PROVIDE TYPE "C" GRATES WITH PRECAST LIDS AND BOXES SIZED BASED ON SIZE AND ANGLE OF PIPES AT ALL INLETS.
- * ALL TYPE "C" GRATES SHALL BE U.S.F. STEEL GRATES, TRAFFIC BEARING (OR APPROVED EQUAL).
- * TYPE "F" GRATES IN ACCORDANCE WITH FDOT INDEX NO. 233. CONTRACTOR TO PROVIDE TYPE "D" GRATES WITH PRECAST LIDS AND BOXES SIZED BASED ON SIZE AND ANGLE OF PIPES AT ALL INLETS.
- * ALL INLET TYPE "F" GRATES SHALL BE U.S.F. STEEL GRATES, TRAFFIC BEARING.
- * ALL GRATES SHALL HAVE FILLER BARS PER FDOT INDEX 218 INSERT B.
- * YARD INLETS SHALL BE NYLOPLAST 15" INLINE DRAINS WITH PEDESTRIAN GRATES (OR APPROVED EQUAL
- * YARD INLETS SHALL HAVE A 12" CONCRETE COLLAR, 6" THICK AROUND INLET.
- * SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

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THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

BY	DATE	DESCRIPTION
SRC	05/5/16	SWFMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/3/16	UTILITY 06/29/16

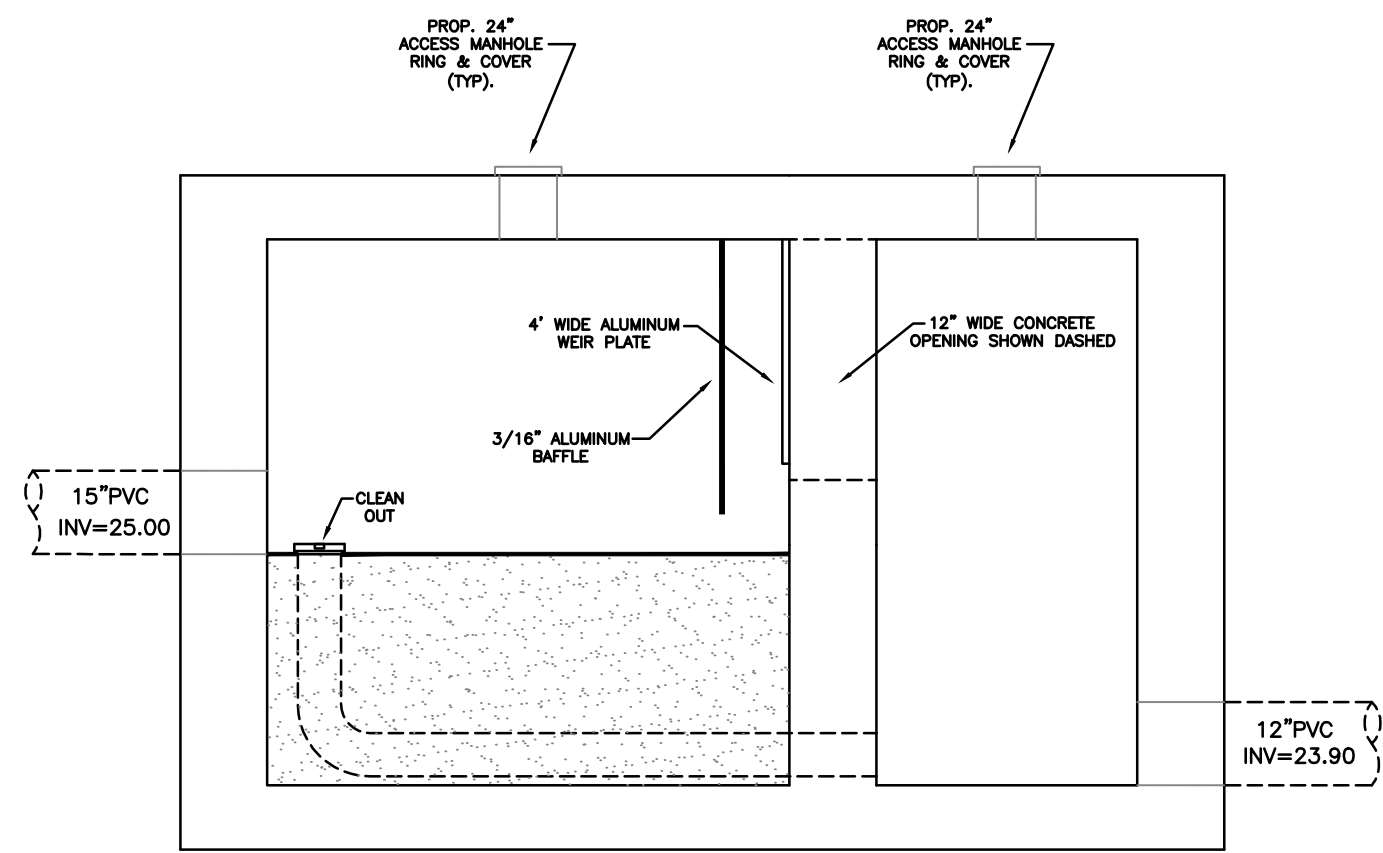


PROJ:	SCHOOL AVENUE TOWNHOMES
SCALE:	1"=20'
DATE:	12/16/15
CLIENT:	ICON RESIDENTIAL
DESC:	NORTH STORM VAULT DETAILS

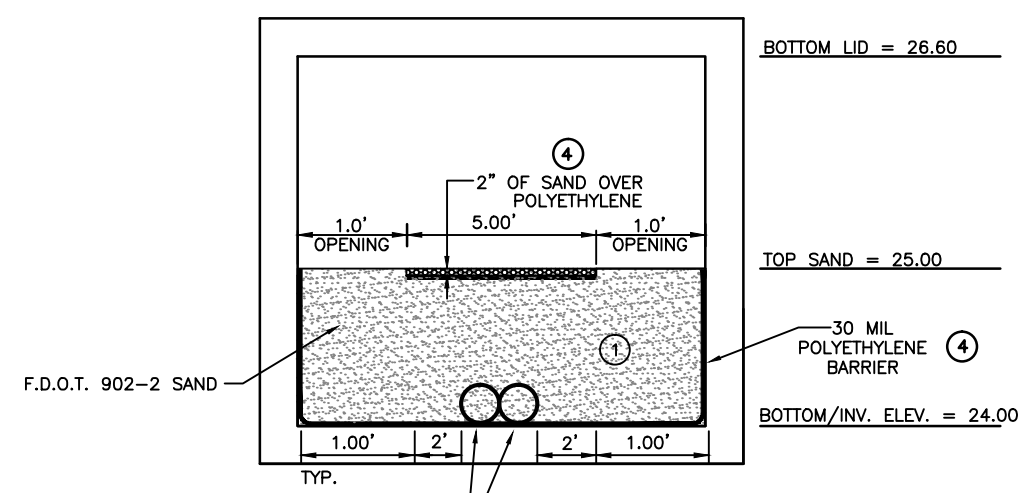
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FOR CITY ENGINEER'S USE

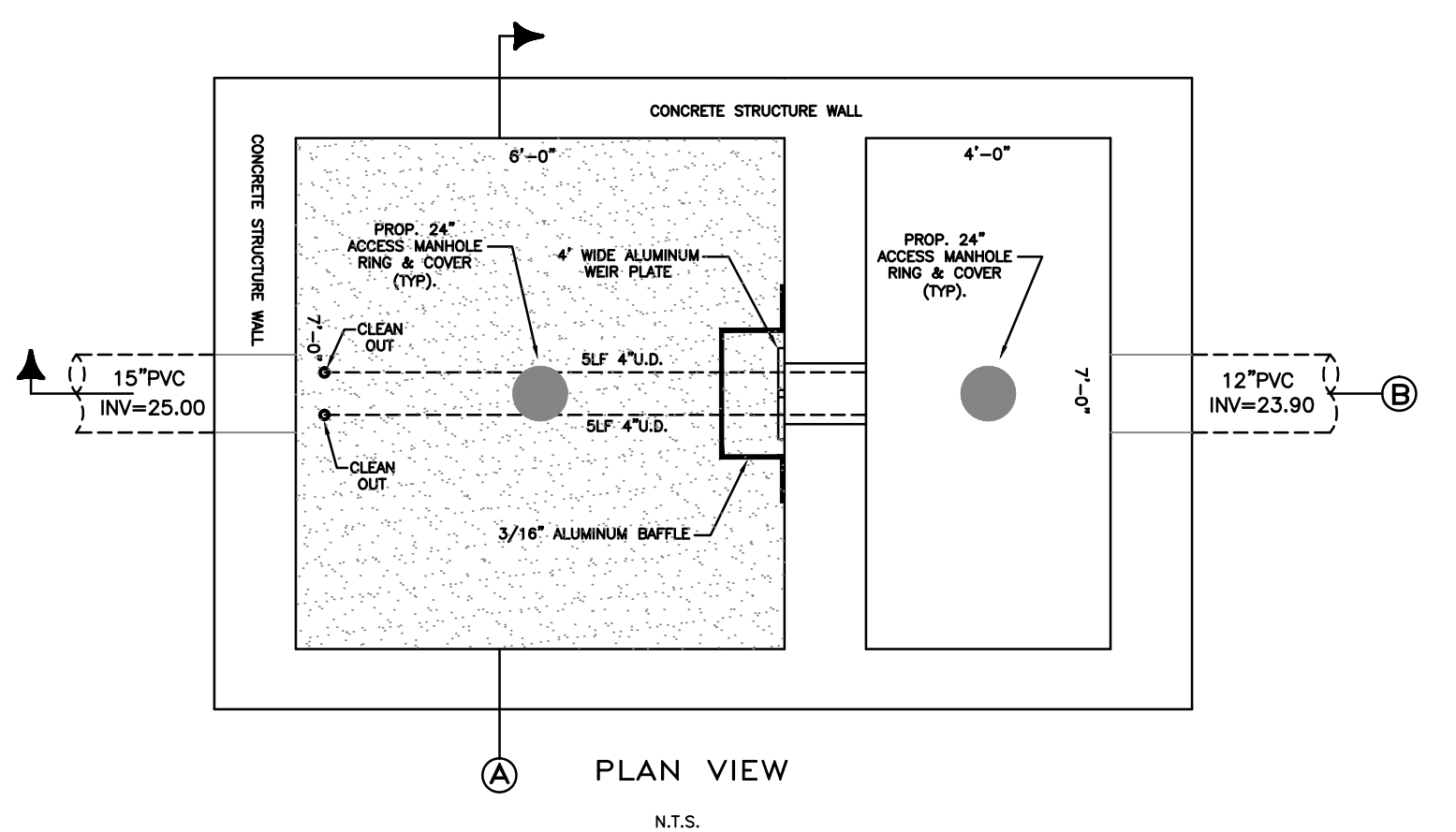
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(VIEW FROM SECTION B)



(VIEW FROM SECTION A)

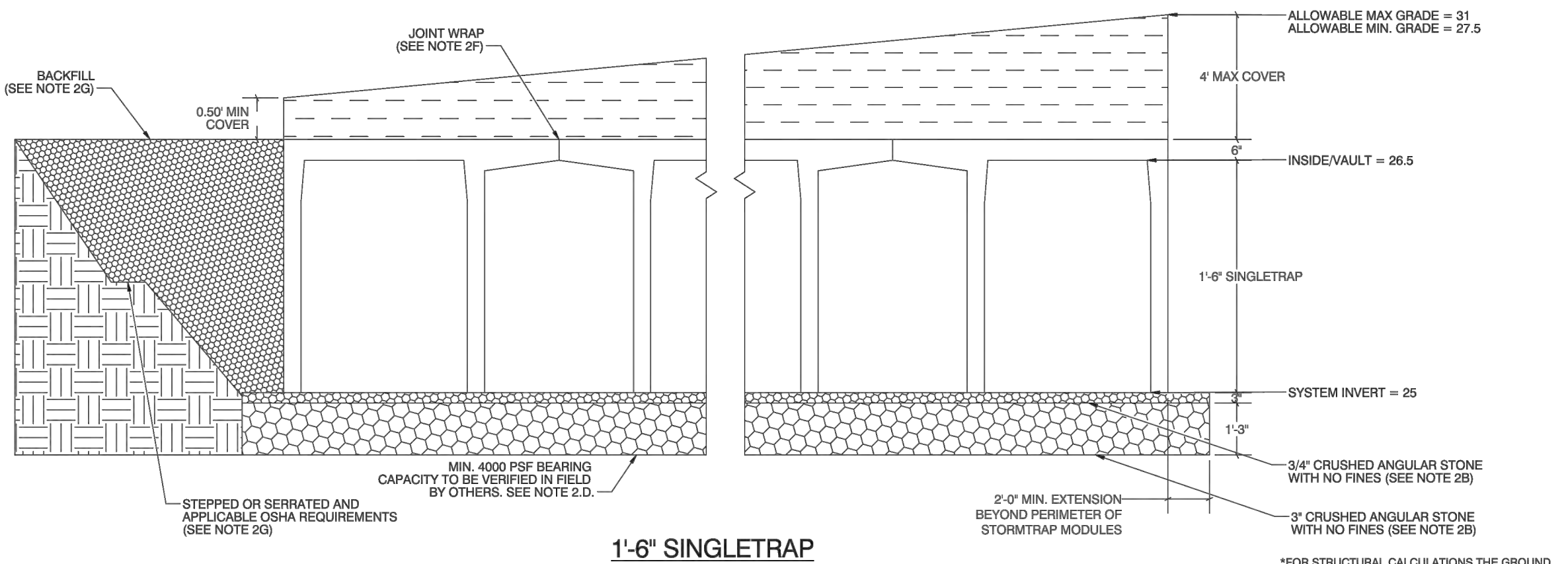


PLAN VIEW

N.T.S.

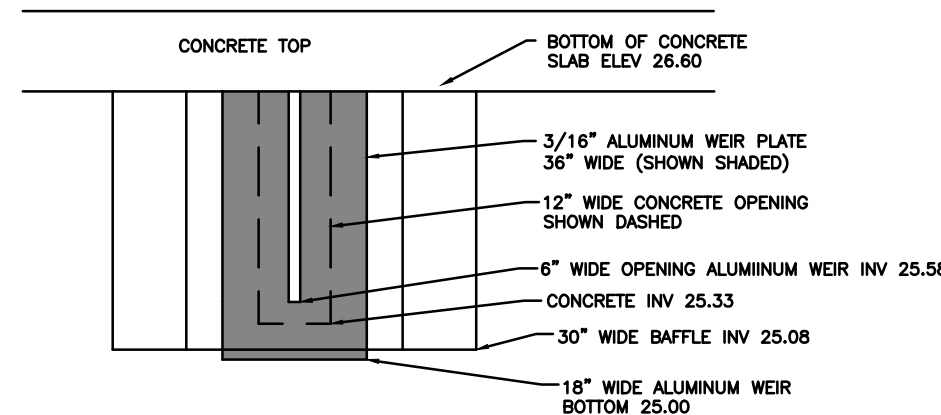
SOUTH VAULT PROPOSED REINFORCED CONCRETE STORMWATER CONTROL STRUCTURE/TREATMENT VAULT

- FOR FINAL DESIGN OF PRECAST SLABS, VAULT WALLS, FOOTINGS, BOTTOM SLAB AND REINFORCEMENT SEE STRUCTURAL PLANS BY OTHERS.
- EXTERIOR OF STORMWATER VAULT SHALL BE PROVIDED WITH A WATERPROOF SEALANT AS SPECIFIED BY THE STRUCTURAL ENGINEER.
- STORM WATER VAULT SHALL BE DESIGNED TO SUSTAIN A MINIMUM H2O LIVE LOAD. STRUCTURAL ENGINEER TO VERIFY WITH ARCHITECT EXPECTED LIVE LOAD FOR DESIGN CONDITIONS.
- VOLUME = 3,455 CUBIC FEET



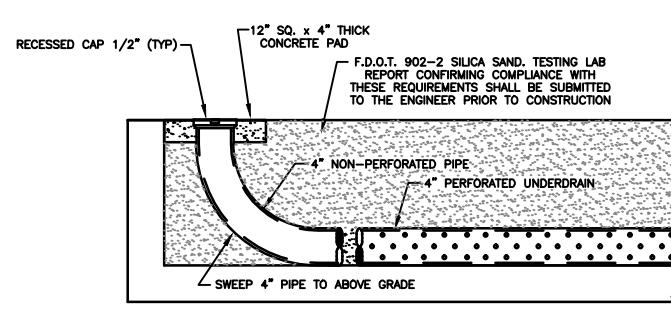
SOUTH STORM TRAP DETAIL

N.T.S.



OUTLET WEIR DETAIL (VAULT 1)

N.T.S.



4\"/>

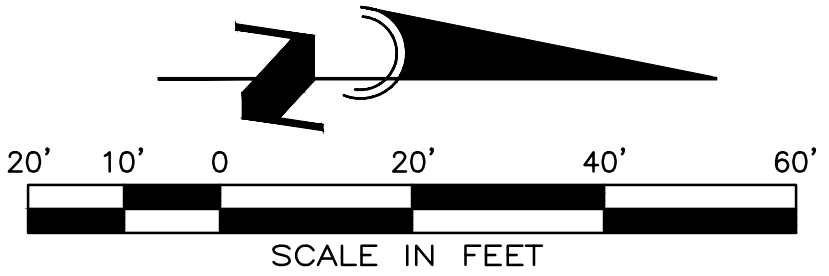
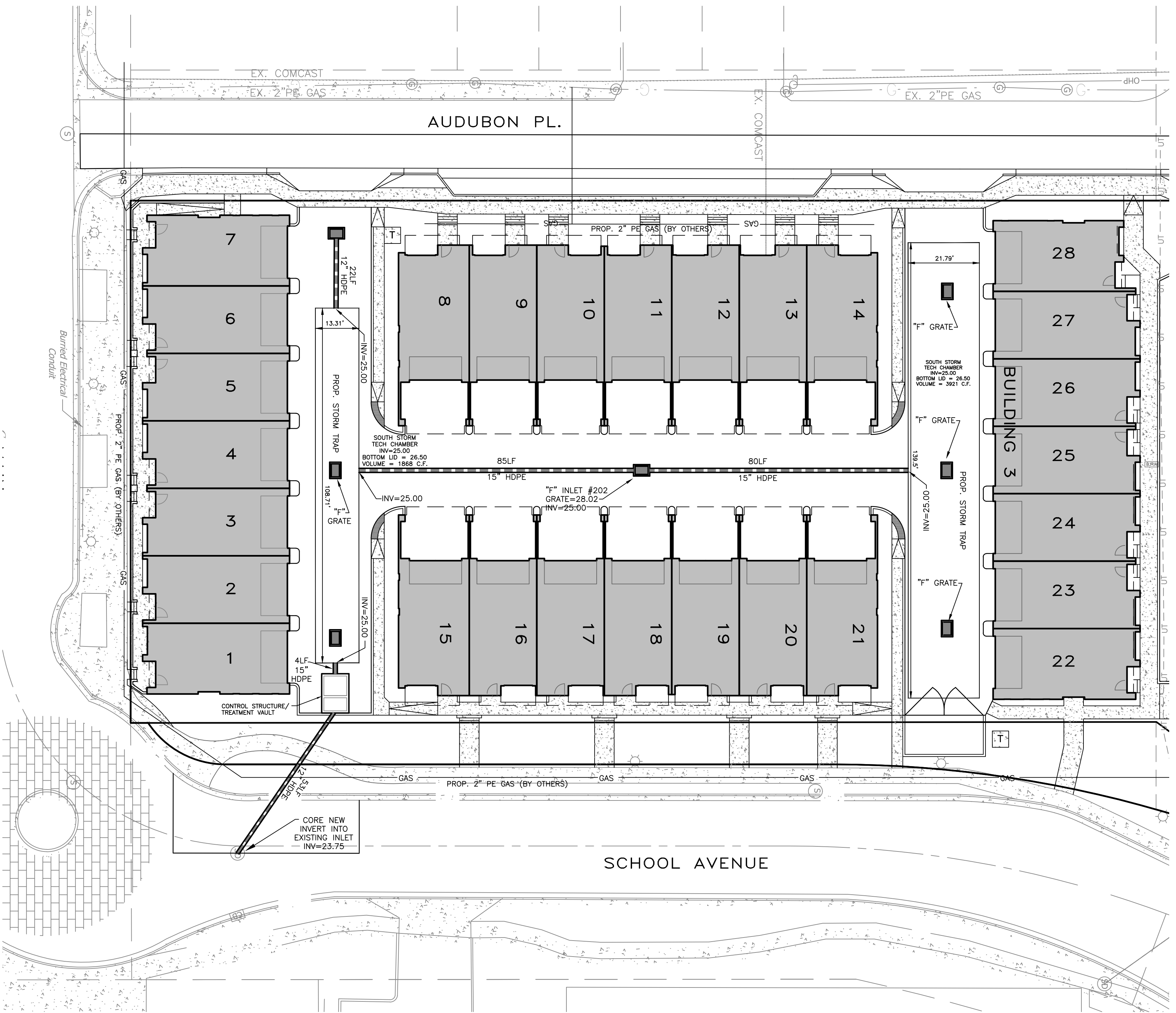
N.T.S.

UNDERDRAIN NOTES

- FILTER AGGREGATE FOR UNDERDRAIN SHALL CONSIST OF WASHED MATERIAL MEETING FOOT ROAD & BRIDGE SPECIFICATIONS FOR SILICA SAND & QUARTZ GRAVEL CONTAINING LESS THAN 1% (BY WEIGHT) OF SILT, CLAY AND ORGANIC MATTER. SAND MATERIAL SHALL HAVE UNIFORMITY COEFFICIENT OF 1.5 OR GREATER. AN EFFECTIVE GRAIN SIZE OF 0.075 - 0.05 MILLIMETER AND SIEVE ANALYSIS (IN PERCENT OF TOTAL WEIGHT PASSING) AS FOLLOWS:
3/4\"/>
- THE AGGREGATE SHALL BE FREE OF ORGANIC MATTER AND OTHER DELETERIOUS MATERIALS. WASHED, SHELLED & UNDERCUT SHALL NOT BE USED FOR FILTER AGGREGATE PERMEABILITY OF THE AGGREGATE SHALL BE 5.4 FLY/HR MINIMUM.
- THE UNDERDRAIN SHALL BE SLOTTED CORRUGATED POLYETHYLENE PIPE A.S.T.M. F-405-77 OR A.A.S.T.M. M-252 HAVING A MINIMUM SLOTTED AREA OF 1 SQ. IN/FT. OF PIPE MANUFACTURED BY A.D.S. OR APPROVED EQUIVALENT. PIPE SHALL BE PREWRAPPED WITH FILTER FABRIC.
- TESTING:
THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIEVE ANALYSIS AND PERCOLATION TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY PRIOR TO DELIVERY OF THE FILTER AGGREGATE MATERIAL ON SITE. FAILURE TO MEET THE SPECIFIED PERMEABILITY OR SIEVE ANALYSIS WILL BE CAUSE FOR REJECTION OF THE MATERIAL.
- 30 MIL POLYETHYLENE BARRIER OR APPROVED EQUIVALENT. LINE COMPLETE UNDERDRAIN LEAVING 3.00' OPENING AS SHOWN ON DETAIL.

UNDERDRAIN DETAIL - VAULT

N.T.S.



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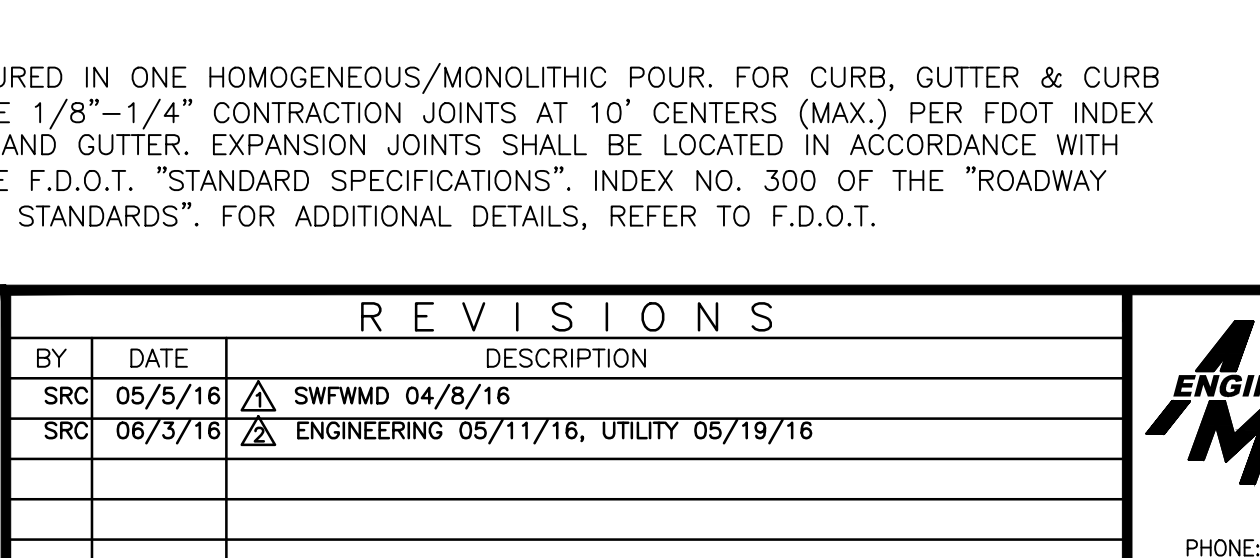
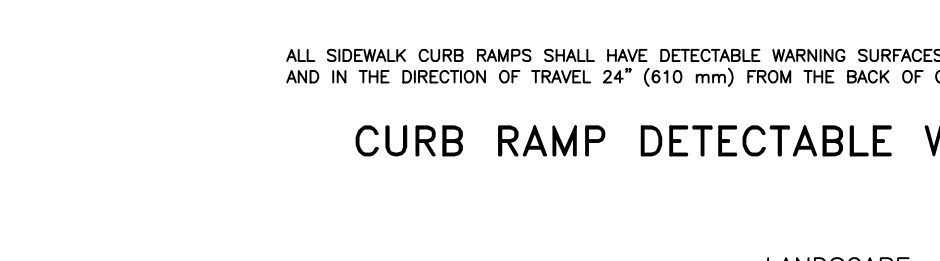
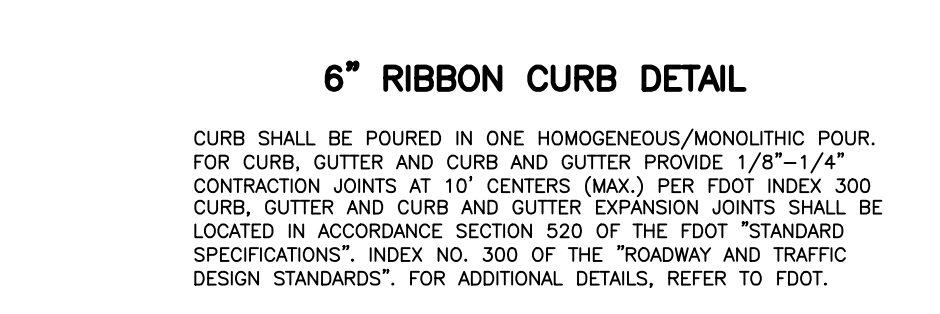
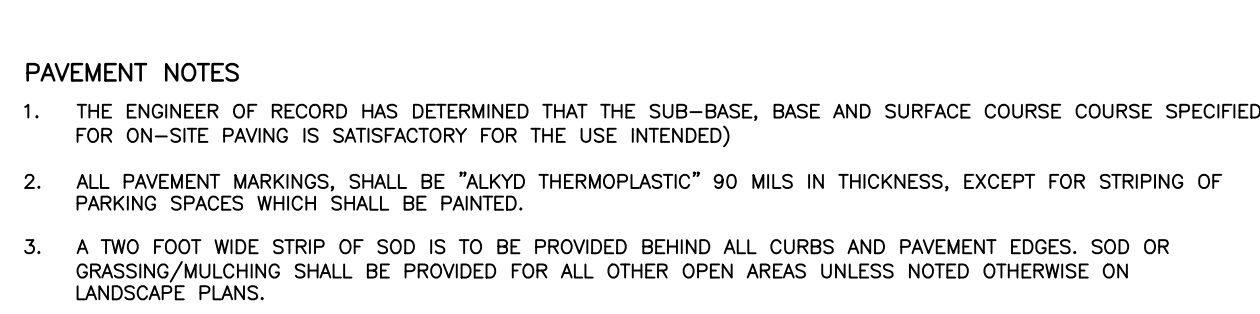
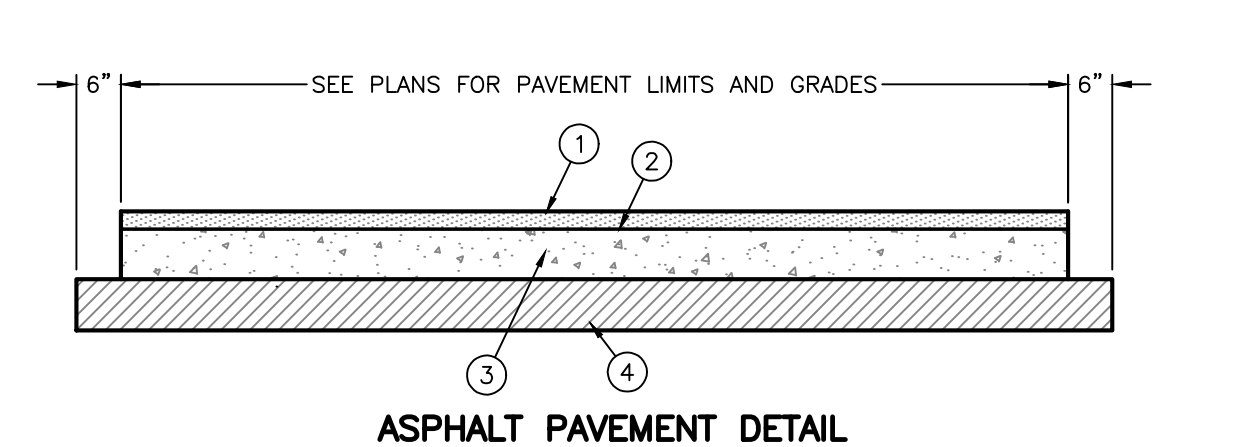
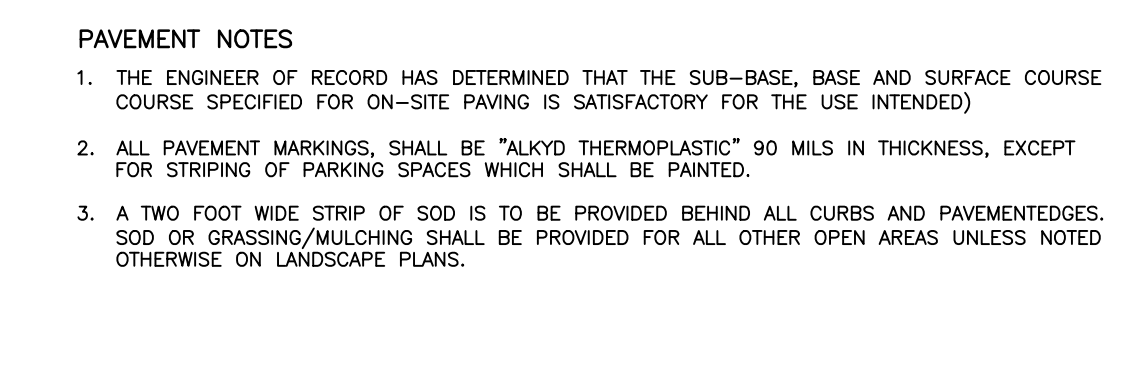
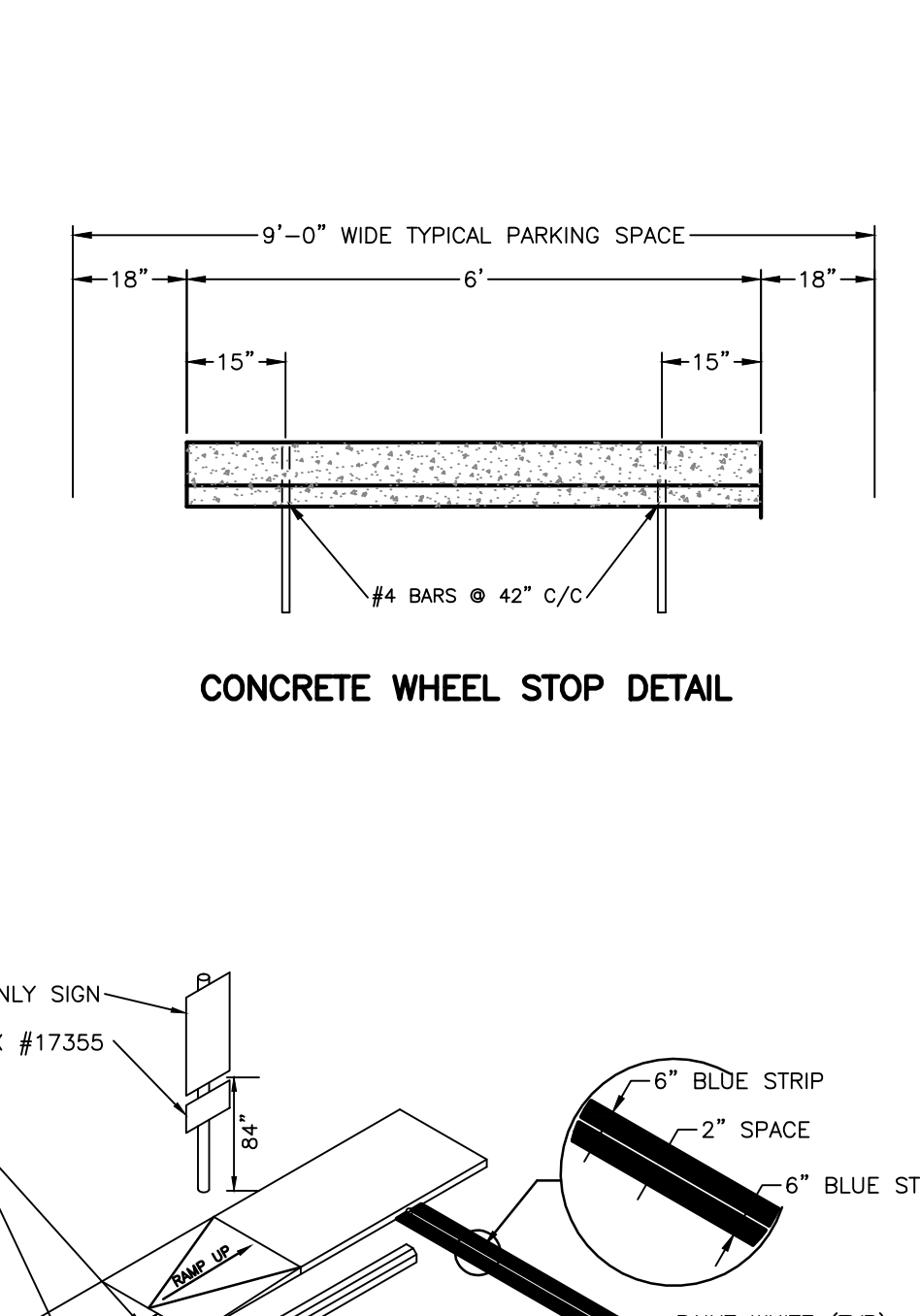
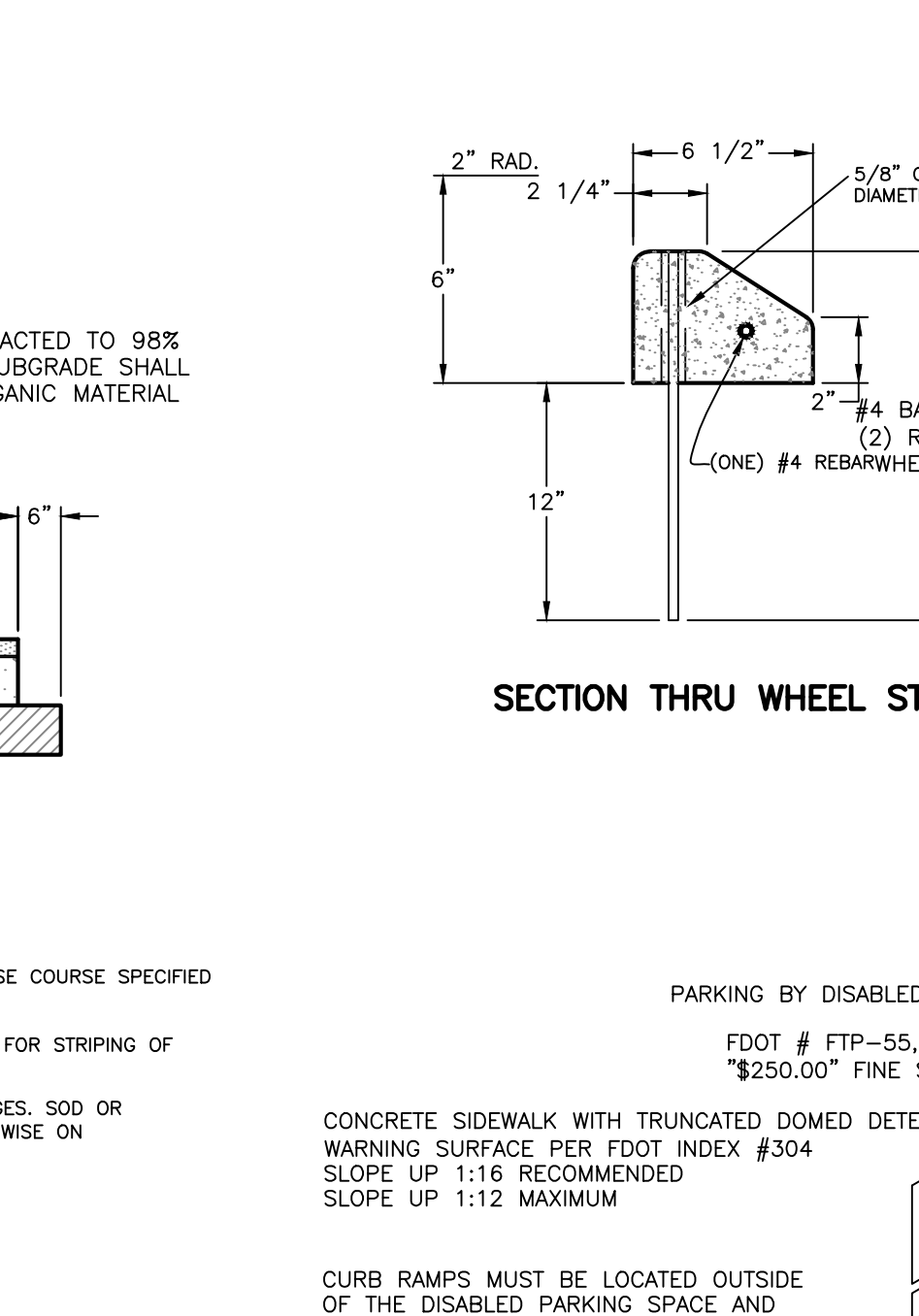
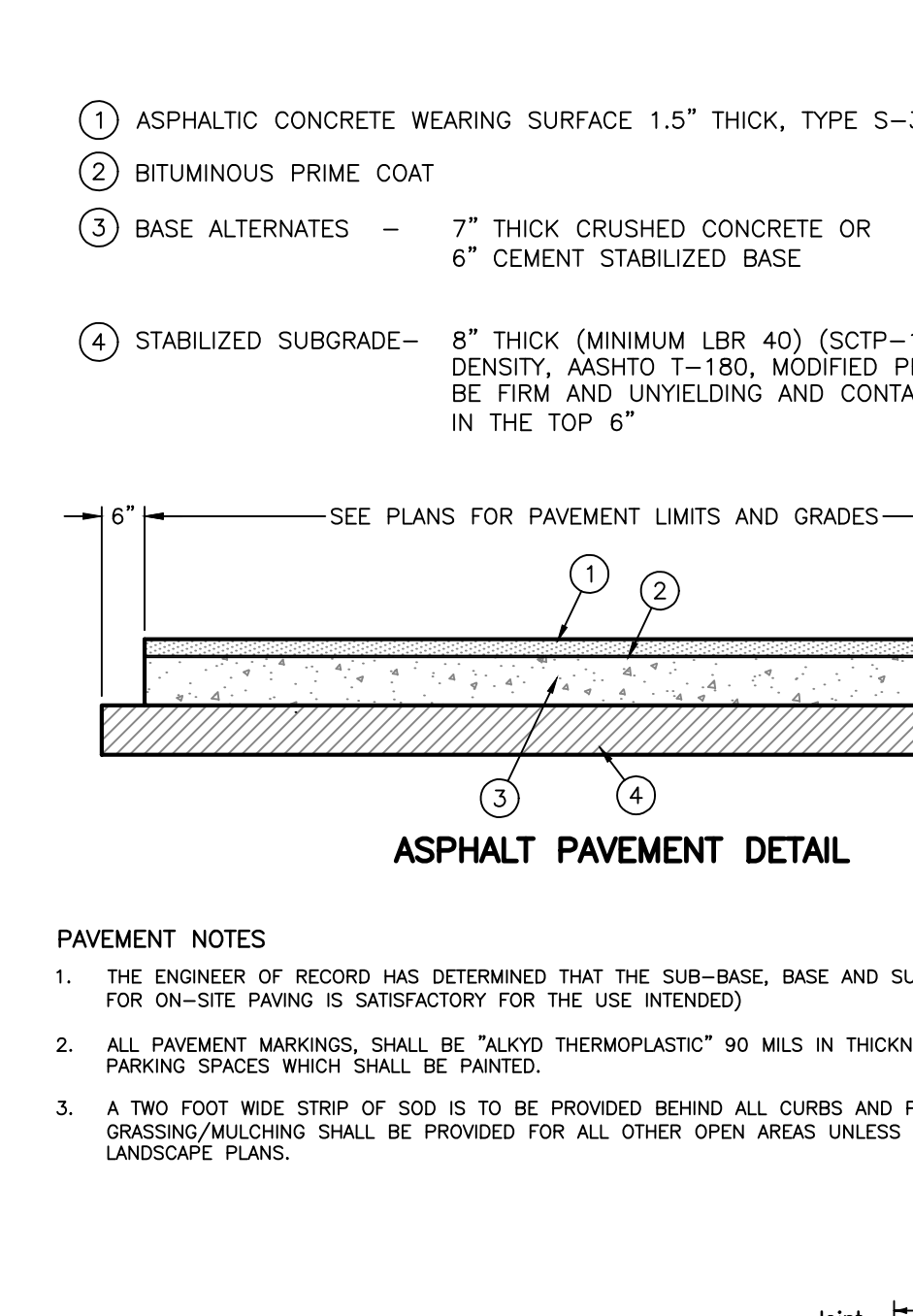
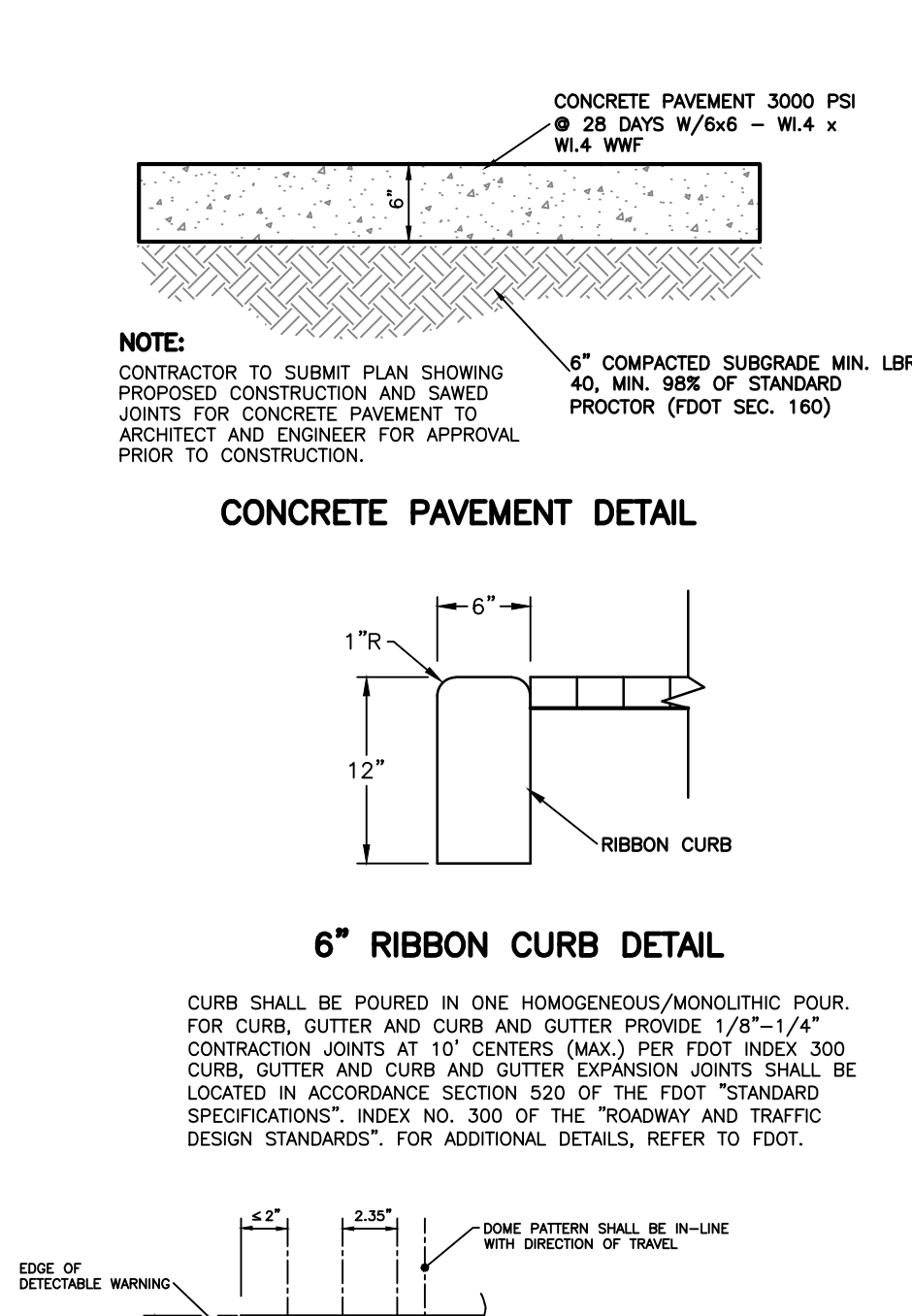
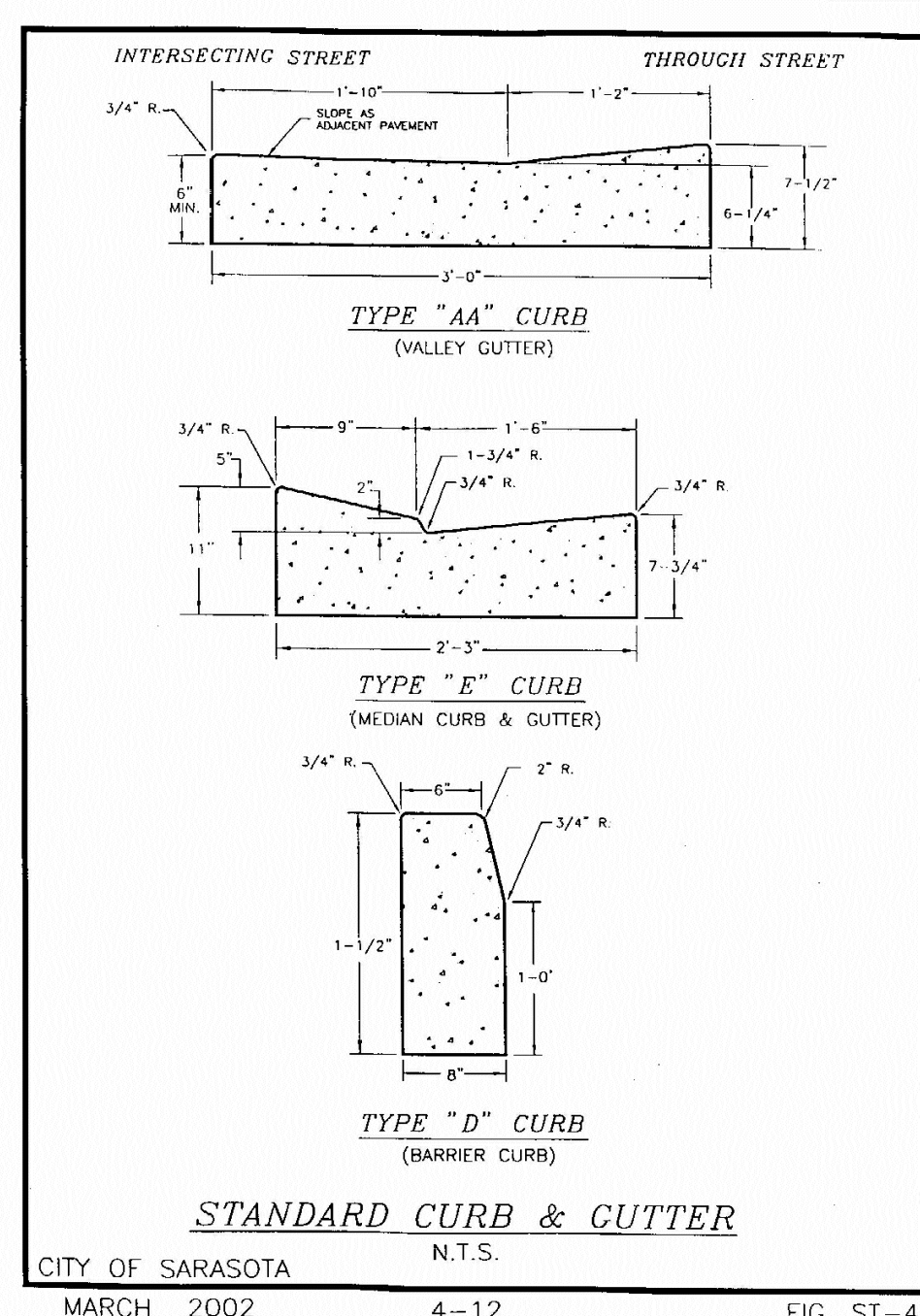
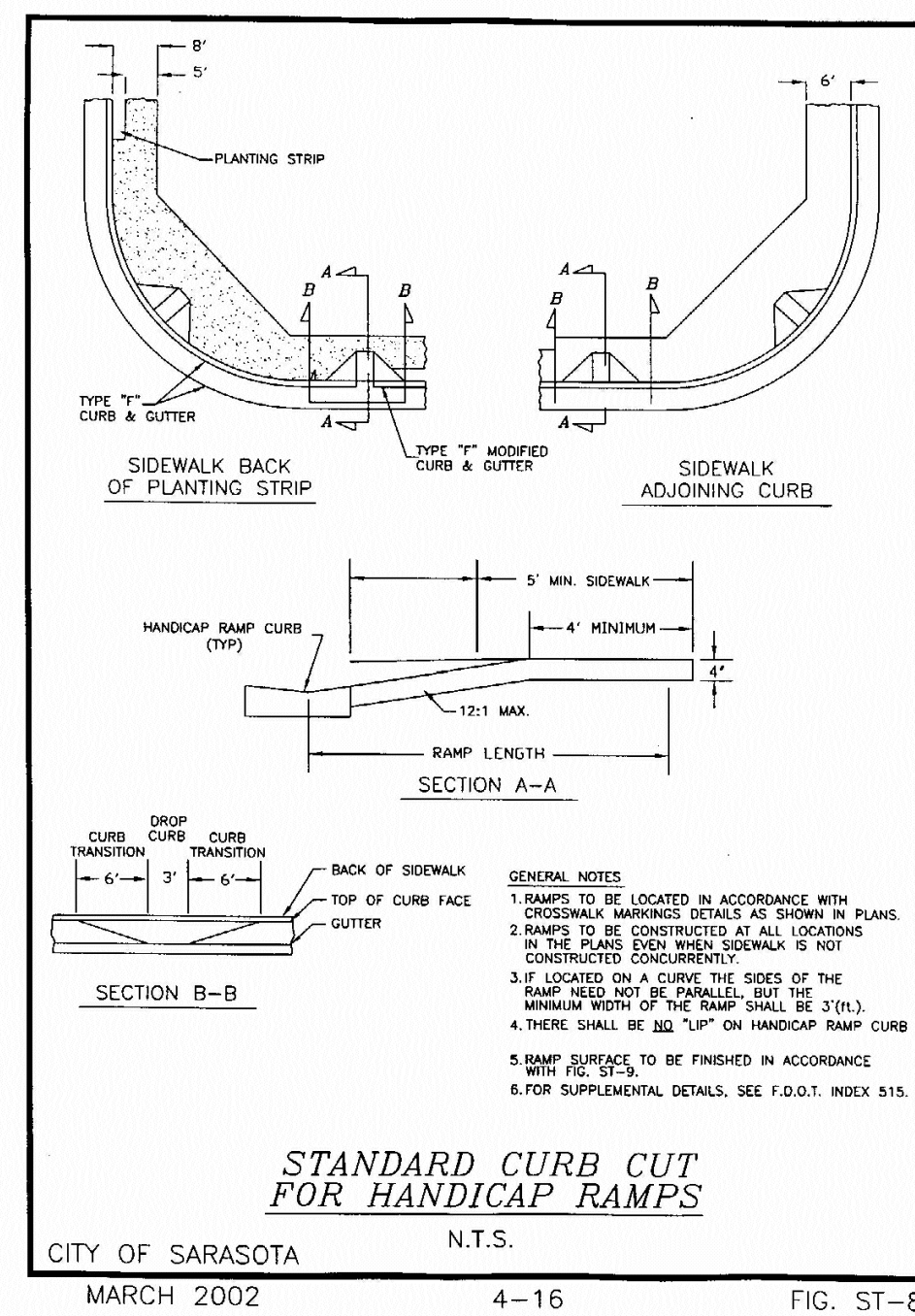
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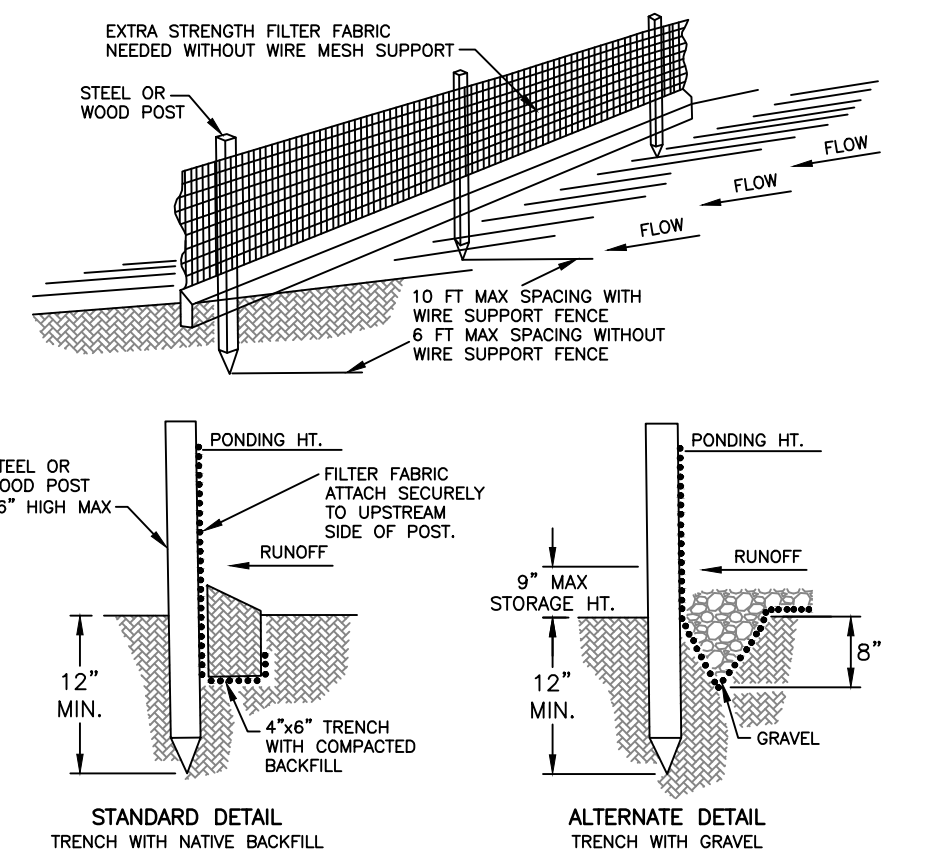
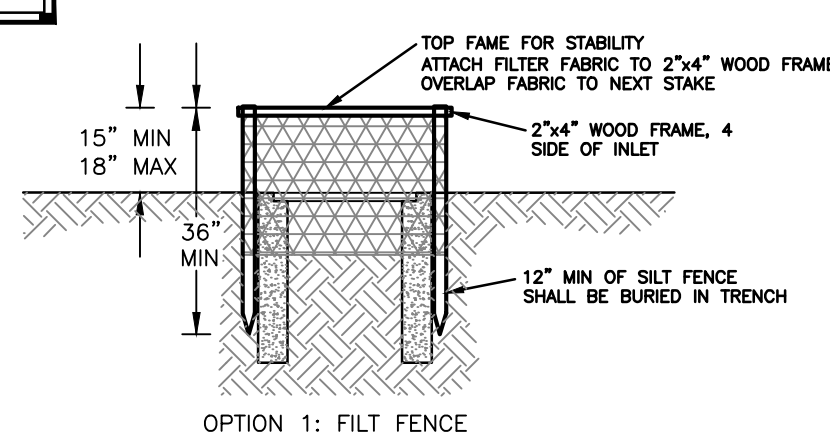
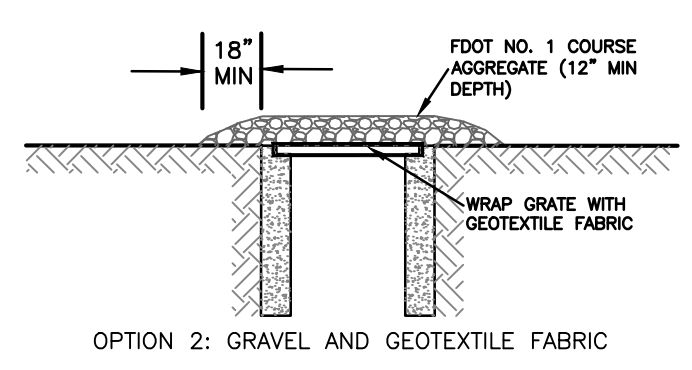
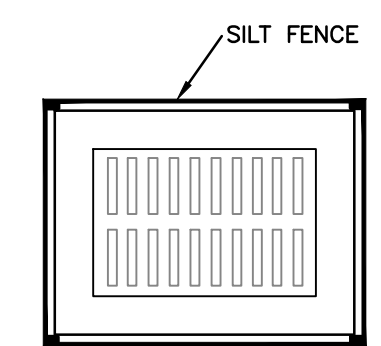
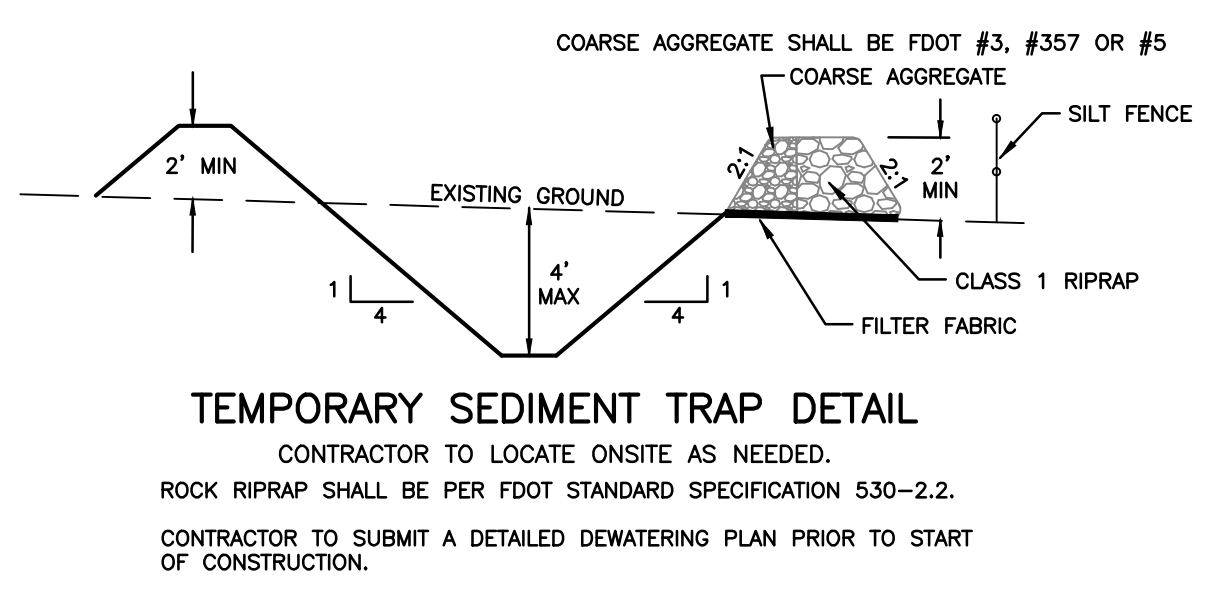
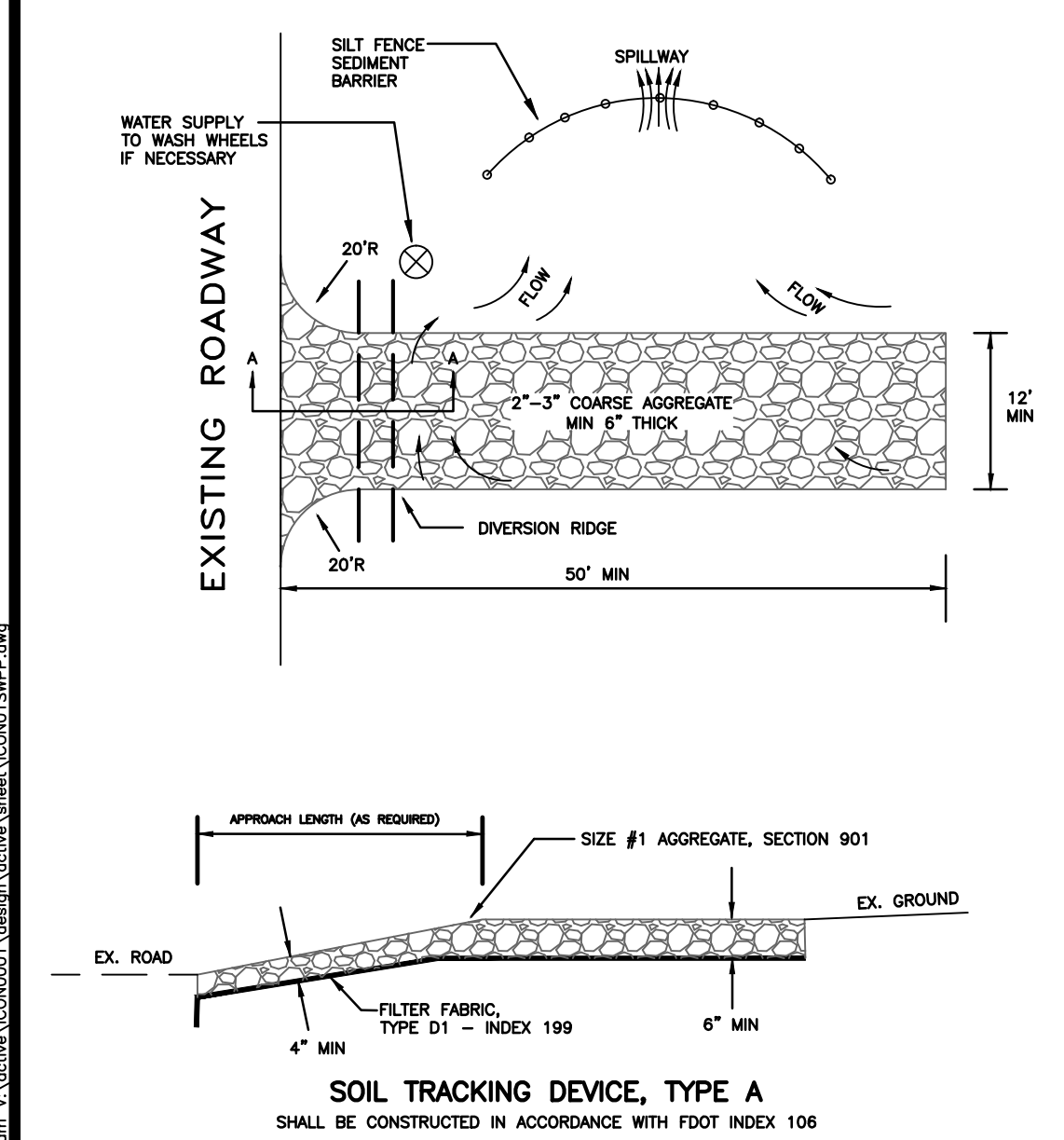
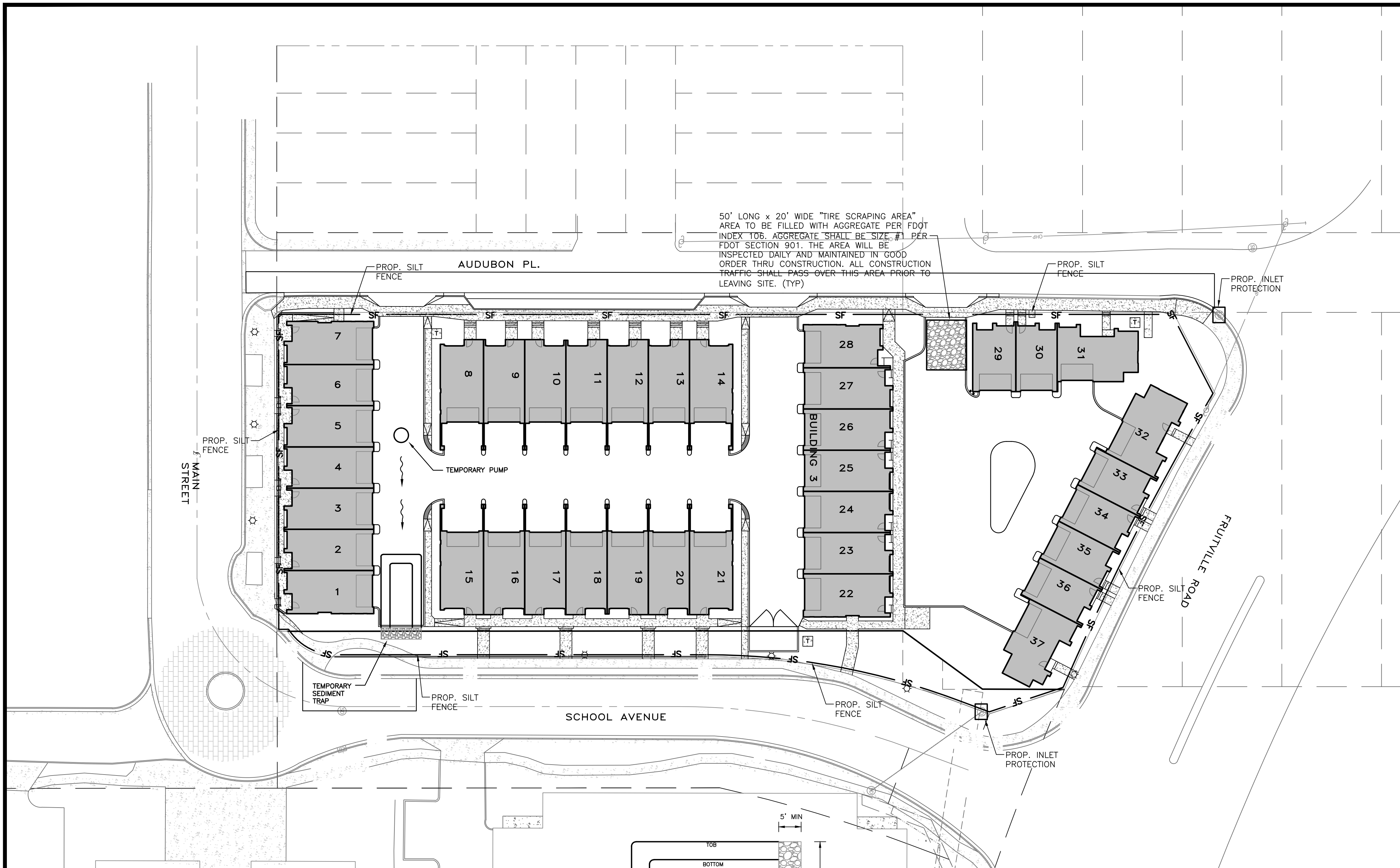
REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/13/16	STORMTRAP COORDINATION



PROJ:	SCHOOL AVENUE TOWNHOMES	
SCALE:	1"=20'	APPROVED BY:
DATE:	12/16/15	SEAN R. CROWELL, PE FLORIDA CERTIFICATE NO: 58584
CLIENT:	ICON RESIDENTIAL	
DESC:	SOUTH STORM VAULT DETAILS	

FOR CITY ENGINEER'S USE	
DRAWN BY:	SRC
CAD FILE:	ICON01PGD
JOB NO:	ICON0001
DRWG. NO.	5B
DATE:	





NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. INSPECT WEEKLY AT A MINIMUM.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

FOR CITY ENGINEER'S USE

DATE:	
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NPDES REQUIREMENTS:

FEDERAL LAW PROHIBITS ALL POINT SOURCE DISCHARGE OR POLLUTANTS, WHICH INCLUDES THE DISCHARGE OF STORMWATER ASSOCIATED WITH LARGE (GREATER THAN 5 ACRES) CONSTRUCTION ACTIVITIES OR SMALL (LESS THAN 5 ACRES AND GREATER THAN 1 ACRE) CONSTRUCTION ACTIVITIES TO WATERS OF THE UNITED STATES WITHOUT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. UNDER THE STATE OF FLORIDA'S AUTHORITY TO ADMINISTER THE NPDES STORMWATER PROGRAM, OPERATORS THAT HAVE STORMWATER DISCHARGE ASSOCIATED WITH LARGE OR SMALL CONSTRUCTION ACTIVITIES TO SURFACE WATERS OF THE STATE, INCLUDING THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4, I.e. TOWN, CITY OR COUNTY), SHALL OBTAIN COVERAGE EITHER UNDER A GENERIC PERMIT OR AN INDIVIDUAL PERMIT.

THE NPDES PERMIT REQUIRES INSPECTIONS ONE (1) TIME PER WEEK AND WITHIN 24 HOURS FOLLOWING A 0.5-INCH RAINFALL EVENT OF ALL BEST MANAGEMENT PRACTICES (BMPs) AND EROSION CONTROL MEASURES. AS AUTHORIZED BY THE OWNER, THE ENGINEER OF RECORD WILL MAKE PERIODIC INSPECTIONS AND DOCUMENT COMPLIANCE IN ACCORDANCE WITH THE NPDES PERMIT. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE WEEKLY INSPECTIONS AND REQUIRED MAINTENANCE OF THE BMPs AND EROSION CONTROL MEASURES AND THE POST-RAINFALL EVENT INSPECTIONS. THE INSPECTIONS MUST DOCUMENT COMPLIANCE WITH THE NPDES PERMIT OR CORRECTION ACTIONS NEEDED AND/OR TAKEN AND BE RECORDED ON THE STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM. THE CONTRACTOR CAN CONTACT FDEP AT 850-245-7522 OR VISIT THE FDEP WEBSITE AT WWW.FDEP.STATE.FL.US FOR ADDITIONAL INFORMATION RELATING TO THE SWPPP AND THE NPDES PERMIT.

THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FROM THE ENGINEER OF RECORD (EOR) PRIOR TO SUBMITTING A CONSTRUCTION BID AND SHALL INCLUDE ALL MONIES NECESSARY TO ENSURE THAT THE SWPPP IS FOLLOWED DURING THE CONSTRUCTION DURATION. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ALL REQUIREMENTS OF THE SWPPP AND HAVE IT POSTED ON-SITE ALONG WITH THE EROSION CONTROL PLAN, THE NPDES PERMIT, AND THE COMPLETED INSPECTION REPORT FORM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL PRACTICES DEFINED IN THE SWPPP AND ASSOCIATED FINES THAT MAY BE IMPOSED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AGENCY (FDEP) FOR NOT COMPLYING WITH THE NPDES REQUIREMENTS CONTAINED IN THE SWPPP AND THE NPDES PERMIT. THE COSTS FOR COMPLYING WITH THE SWPPP AND THE NPDES PERMIT SHALL BE INCLUDED IN THE CONTRACTORS CONSTRUCTION BID.

SWPPP SEQUENCE OF EVENTS

1. SURVEYORS STAKEOUT SILT SCREEN LOCATION
2. SILT SCREEN INSTALLED
3. CLEARING AND GRUBBING OPERATIONS
4. REPAIR ALL SILT SCREEN DAMAGED DURING CLEARING AND GRUBBING
5. CONSTRUCT SEDIMENTATION BASINS FOR DEWATERING
6. EARTH MOVING-CONSTRUCT LAKES, FILL LOTS, ROADS, SWALES, AND BERMS
7. FINAL GRADING OF SLOPES
8. INSTALL SWALES OR BERMS TO PROTECT SLOPES
9. SOD OR SEED SLOPES
10. BMPs TO BE MAINTAINED THROUGHOUT ALL CONSTRUCTION ON THE SITE
11. MAINTENANCE AND INSPECTIONS

GENERAL NOTES

1. MEANS OF VEGETATION, EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED AS DESCRIBED IN THE CONTROLS SECTION OF THE POLLUTION PREVENTION PLAN AND WILL BE MAINTAINED TO ENSURE THAT THEY ARE EFFECTIVE. IF ANY ADDITIONAL MEASURES ARE NEEDED, THEY WILL BE IMPLEMENTED PRIOR TO CONTINUING CONSTRUCTION ACTIVITIES.
2. A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL INSPECT ALL POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MSA DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. AREAS USED FOR STORAGE OF MATERIAL THAT ARE EXPOSED TO PRECIPITATION: STRUCTURAL CONTROLS, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER.
3. MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES: SILT FENCE, HAY BALES AND OTHER SEDIMENTATION DEVICES SHALL BE INSPECTED DAILY BY THE CONTRACTOR DURING CONSTRUCTION. ANY INSTALLATION THAT HAS BEEN DAMAGED OR DISPLACED COMPONENTS, SHALL BE REPLACED OR REPAIRED IMMEDIATELY.
4. MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES: DURING DEWATERING: PRIOR TO COMMENCING DEWATERING THE CONTRACTOR SHALL INSPECT THE TEMPORARY SEDIMENT, SUMP, SILT FENCE, HAY BALES AND OTHER COMPONENTS OF THE SEDIMENTATION AND EROSION CONTROL SYSTEM. DAMAGED OR DISPLACED COMPONENTS SHALL BE REPLACED OR REPAIRED PRIOR TO STARTING DEWATERING.

EROSION AND SEDIMENTATION CONTROL:

THE PROPOSED SILT FENCE WILL BE PLACED AT THE SITE PERIMETER PRIOR TO BEGINNING CLEARING OR DEMOLITION. THE SILT FENCE WILL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION WHICH IS ESTIMATED TO BE NINE MONTHS. ADDITIONAL EROSION CONTROL MEASURES SUCH AS FILTER CLOTH OVER INLET GRATES AND HAY BALES AT INLETS WILL BE IMPLEMENTED AS REQUIRED DURING CONSTRUCTION. FINAL STABILIZATION OF THE SITE WILL OCCUR AT THE END OF CONSTRUCTION WITH THE INSTALLATION OF THE LANDSCAPING. INTERIM STABILIZATION IN SELECT AREAS SUCH AS THE FILL SLOPE WILL BE IMPLEMENTED AS CONSTRUCTION ALLOWS.

A GRAVEL AREA LOCATED INSIDE THE PROPERTY AT THE CONSTRUCTION ENTRANCE WILL BE USED TO REDUCE SOIL TRACKING FROM THE SITE.

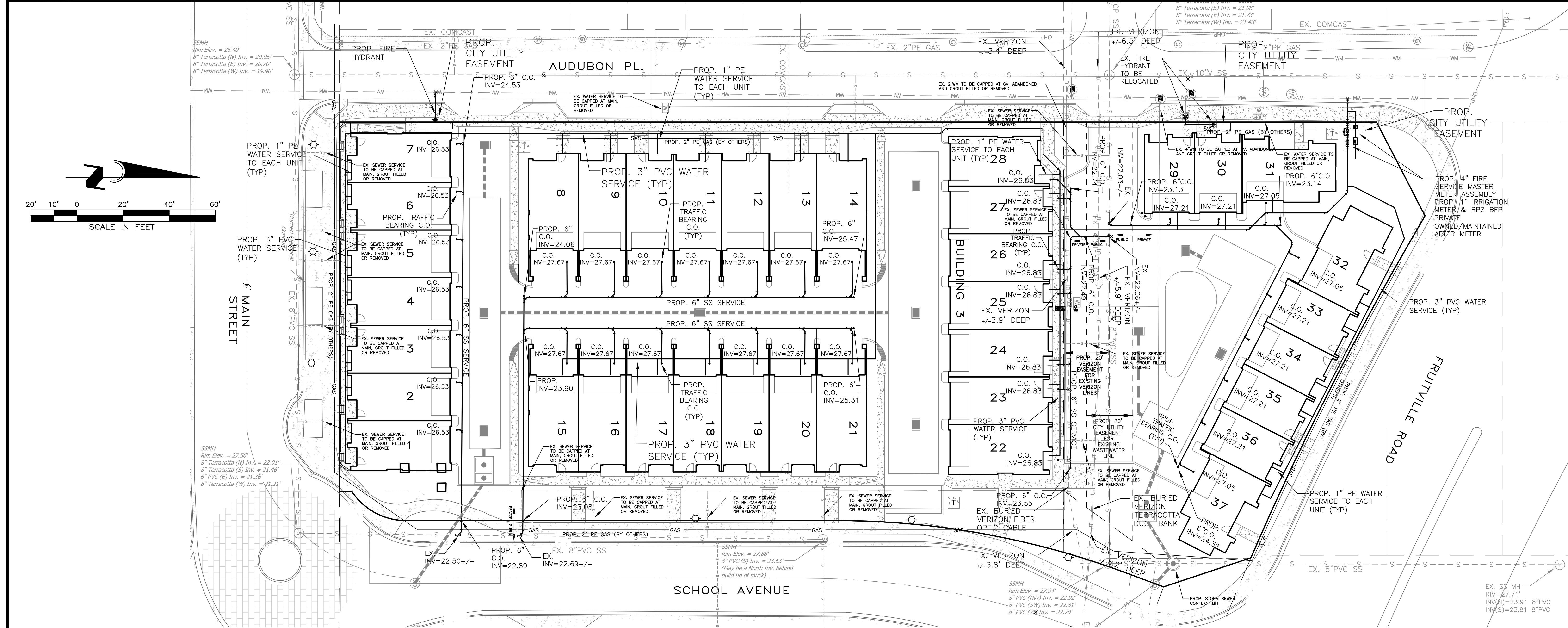
THE MAINTENANCE SCHEDULE FOR THE EROSION AND SEDIMENTATION CONTROL SYSTEM SHALL BE AS FOLLOWS:

1. DAILY INSPECTION OF THE PERIMETER SILT FENCE FOR DAMAGE OR BREACHES. REPAIR AS NECESSARY.
2. WEEKLY INSPECTION OF GRAVEL AREA AT CONSTRUCTION ENTRANCE. ADD GRAVEL AS REQUIRED TO MAINTAIN EFFECTIVENESS.
3. STABILIZE SLOPES WITH SOD AS SOON AS FINISHED GRADING IS COMPLETE. WEEKLY INSPECTION OF SODDED SLOPES AND REPAIR OF ANY WASHOUTS OR ERODED AREAS.
4. DAILY INSPECTION OF ADJOINING ROADWAY. SWEEP PAVEMENT AND GUTTERS AS REQUIRED TO REMOVE TRACKED SOIL.

SOLID WASTE INCLUDING CONSTRUCTION DEBRIS WILL BE PLACED IN ROLL ON CONTAINERS. IT IS ESTIMATED THAT THE DEBRIS WILL HAVE TO BE REMOVED AT ONE TO TWO WEEK INTERVALS DURING BUILDING CONSTRUCTION. SOLID WASTE MANAGEMENT, EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED, INSPECTED AND MAINTAINED BY THE GENERAL CONTRACTOR.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTES:

- A) NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C.
- B) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART II.D.2, F.A.C., AND AS PER SEC 54-187(1)(1) OF THE SARASOTA COUNTY CODE.
- C) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO THE CITY OF SARASOTA IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART II.D.1, F.A.C.
- D) THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART V.D.6, F.A.C., AND A COPY OF THE CERTIFIED DOCUMENT SHALL BE SUBMITTED TO THE CITY OF SARASOTA AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- E) A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO CITY OR STATE INSPECTORS.

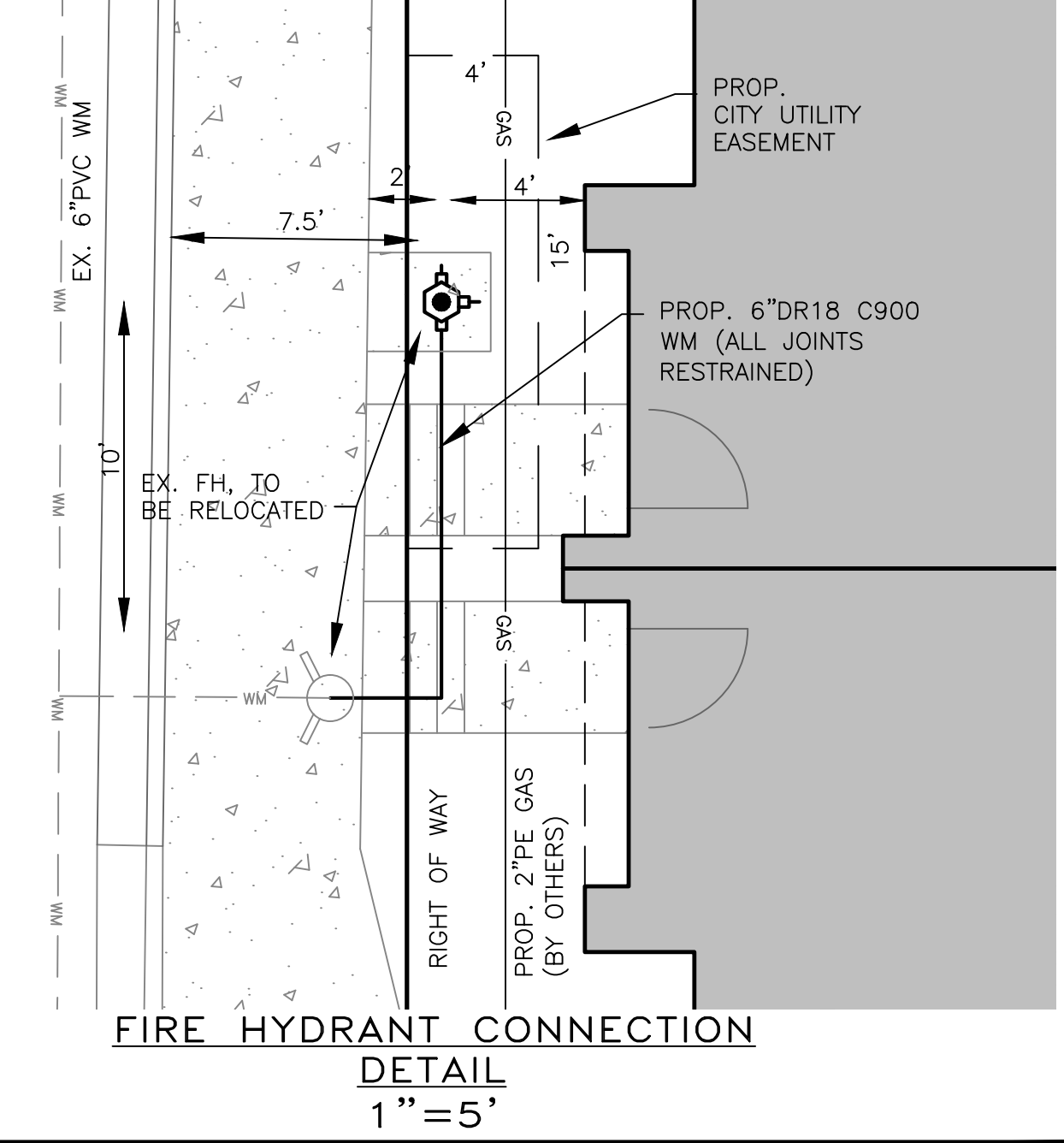
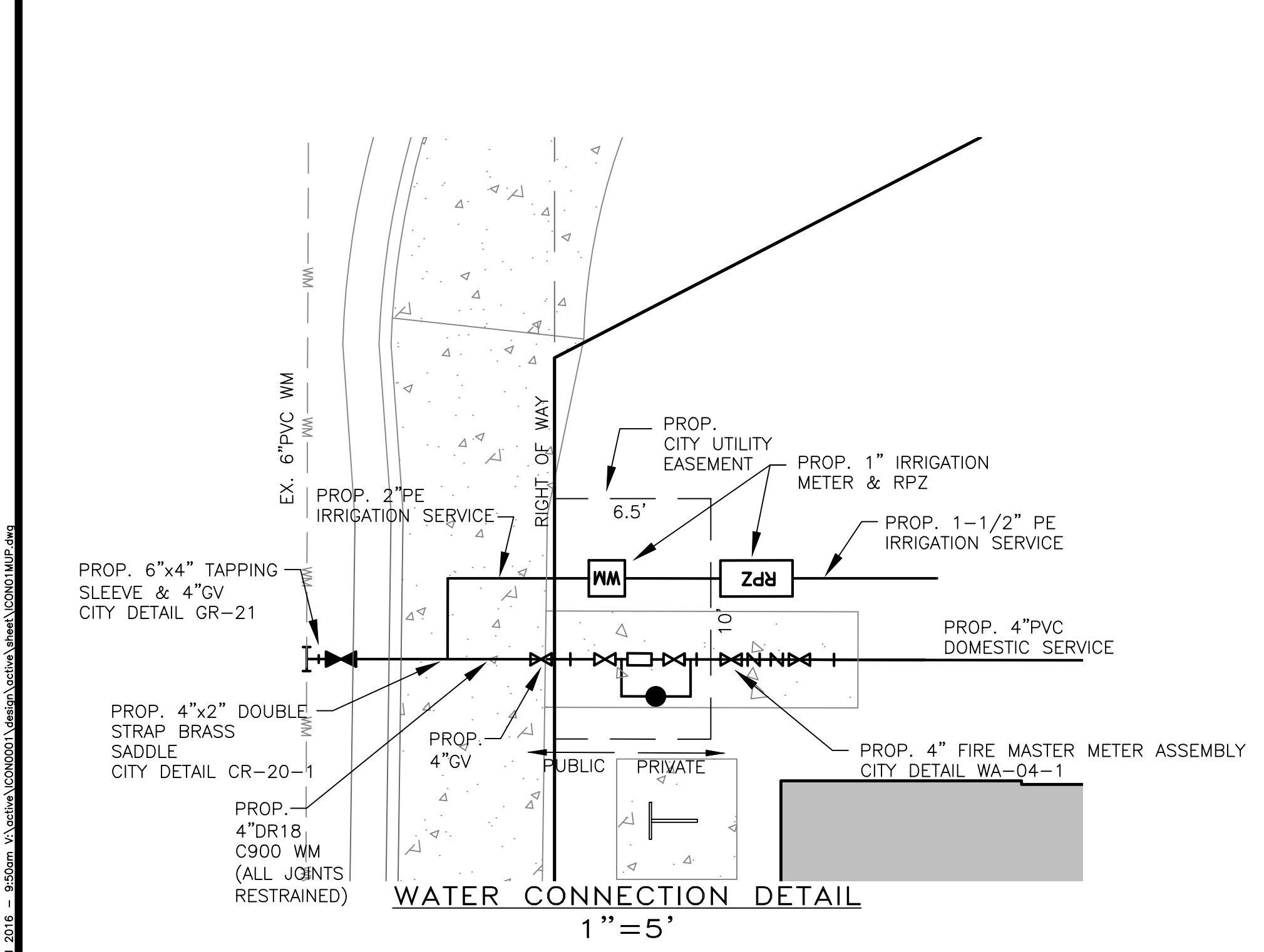


CITY OF SARASOTA UTILITY NOTES:

1. THE OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE INSTALLATION OR NECESSARY UPGRADES TO CITY OWNED UTILITIES TO SERVICE THIS SITE.
2. WATER METER BOXES LOCATED IN SIDEWALK AND SHALL HAVE A H20 RATING.
3. A DVD VIDEO INSPECTION DISC OF ANY SANITARY SERVICE PROPOSED TO BE REUSED SHALL BE PROVIDED BY THE DEVELOPER AND SUBMITTED TO UTILITIES FOR EVALUATION. CLEANING OF THE SANITARY LINE WILL FIRST BE REQUIRED WITH A CITY INSPECTOR PRESENT. IF ANY RESTORATION OR REPLACEMENT OF THE SANITARY SERVICE WILL BE REQUIRED OF THE DEVELOPER, IT WILL NEED TO BE INDICATED ON THE CIVIL BUILDING CONSTRUCTION PLANS.
4. A UTILITY CONSTRUCTION PERMIT IS REQUIRED PRIOR TO ANY UTILITY CONSTRUCTION IN THE R/W OR ASSOCIATED WITH AN FDEP PERMIT.
5. THE DEVELOPER WILL CAP UNUSED WATER AND WASTEWATER SERVICES SERVICING THIS SITE AT THE MAIN CONNECTION POINT. THEY SHALL BE ABANDONED AND GROUT FILLED OR REMOVED.
6. ALL BACKFLOW PREVENTERS SHALL BE REDUCED PRESSURE ZONE DEVICES AND USC APPROVED.
7. ABANDONMENT OF UTILITIES AND OR INSTALLATION OF PROPOSED UTILITIES LOCATED IN THE R/W WILL BE ACCOMPLISHED BY THE OWNER THROUGH THE ISSUANCE OF A R/W USE AND UTILITY CONSTRUCTION PERMIT.
8. THE VALVES LOCATED N AUDUBON PLACE FOR THE 2\"/>

CITY OF SARASOTA SANITARY SEWER NOTES:

1. VIDEO TESTING OF THE SANITARY WASTEWATER LATERALS WILL BE PERFORMED PRIOR TO THE ISSUANCE OF THE CITY OF SARASOTA UTILITY PERMIT AND ALL NECESSARY FDEP REQUIREMENTS WILL BE ADHERED TO.
2. A VIDEO INDICATING THE EXISTING CONDITION OF THE SANITARY WASTEWATER LATERALS PROPOSED TO BE USED WILL NEED TO BE PROVIDED TO THE CITY UTILITY DEPT FOR REVIEW. IF THEY ARE FOUND TO NEED REPAIR OR ARE UNACCEPTABLE FOR USE, REPAIR OR REPLACEMENT OF THE SANITARY SERVICES WILL NEED TO BE PROVIDED BY THE DEVELOPER/OWNER AND IT WILL NEED TO BE INDICATED ON THESE PLANS.



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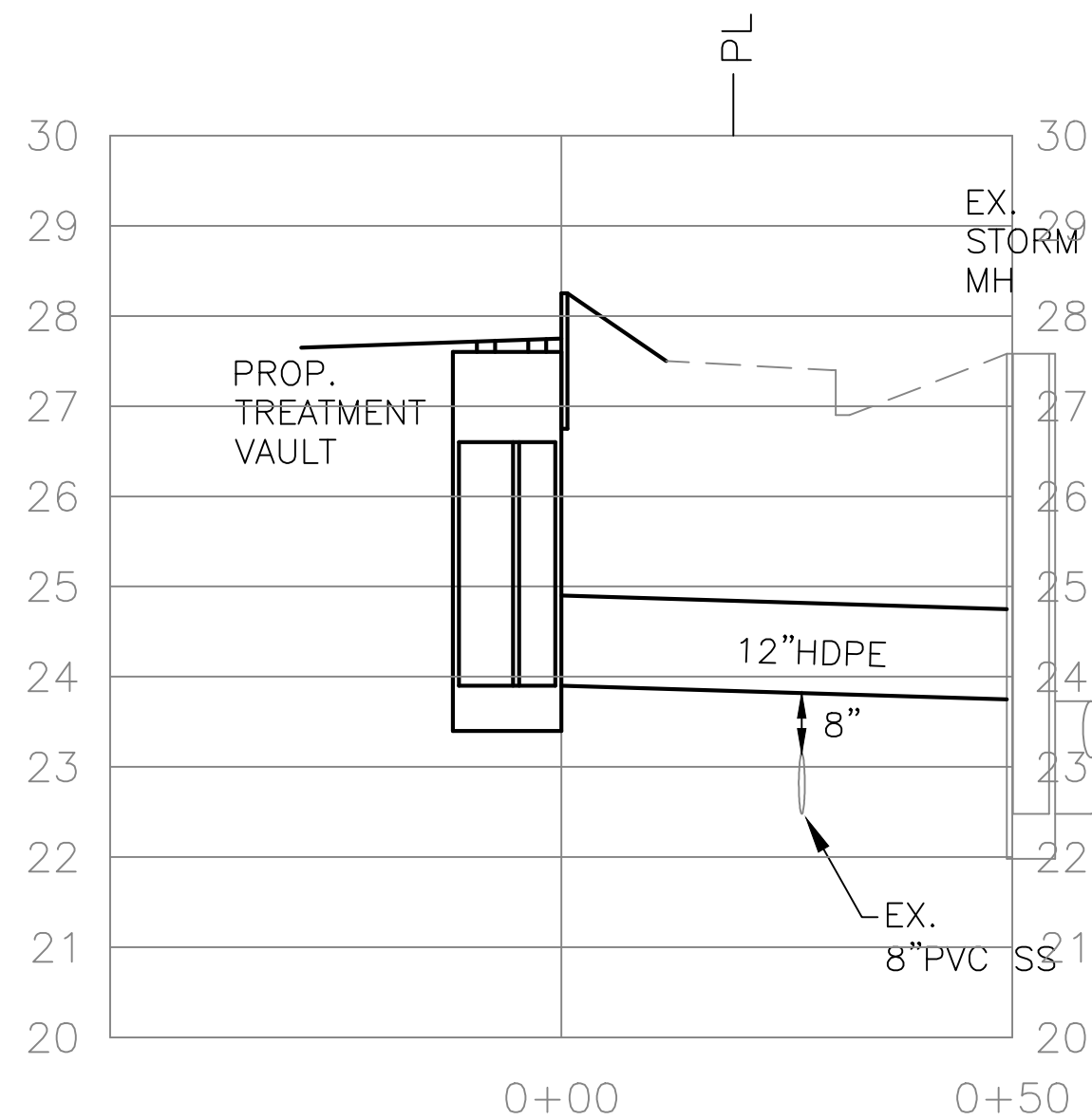
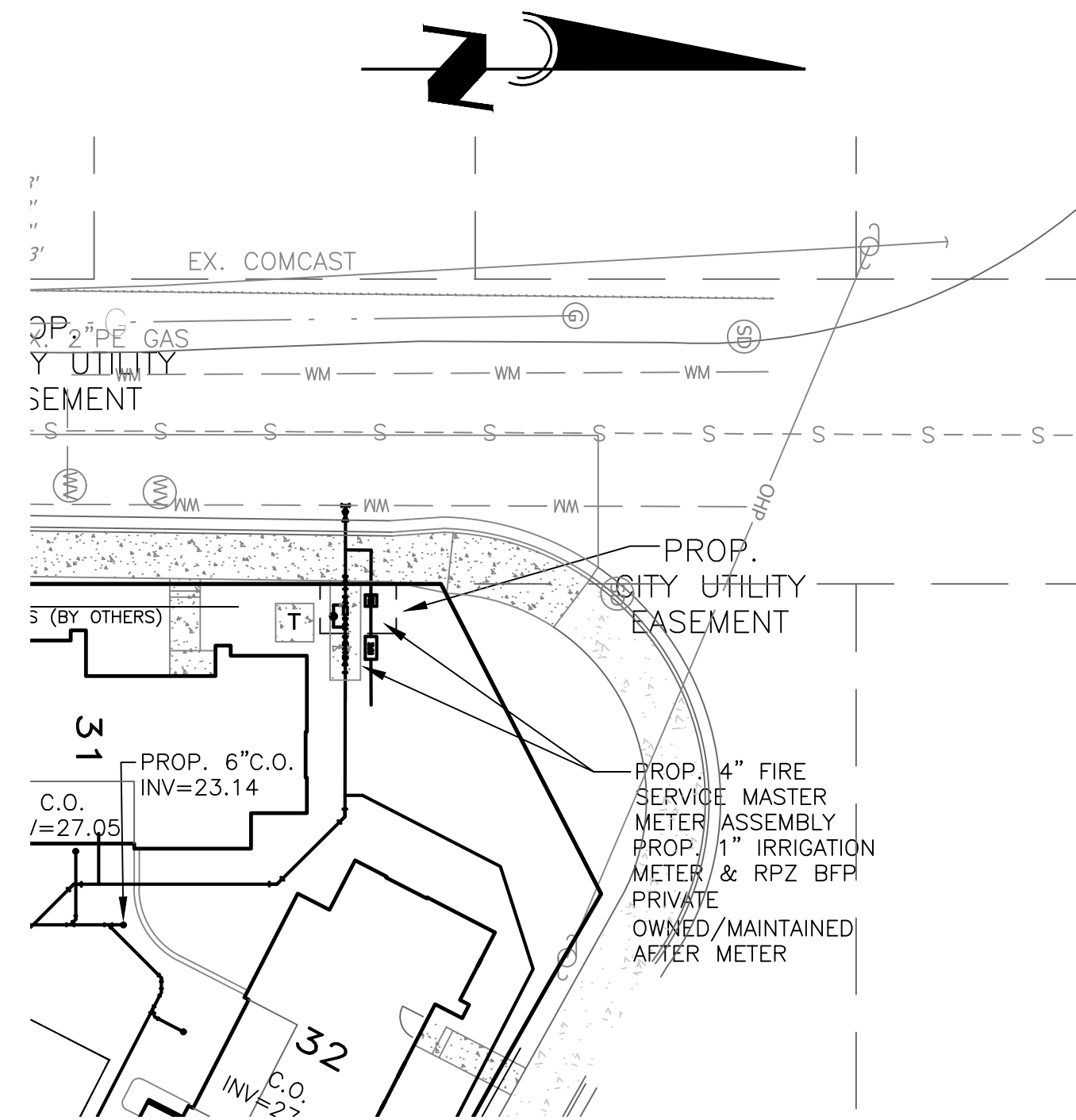
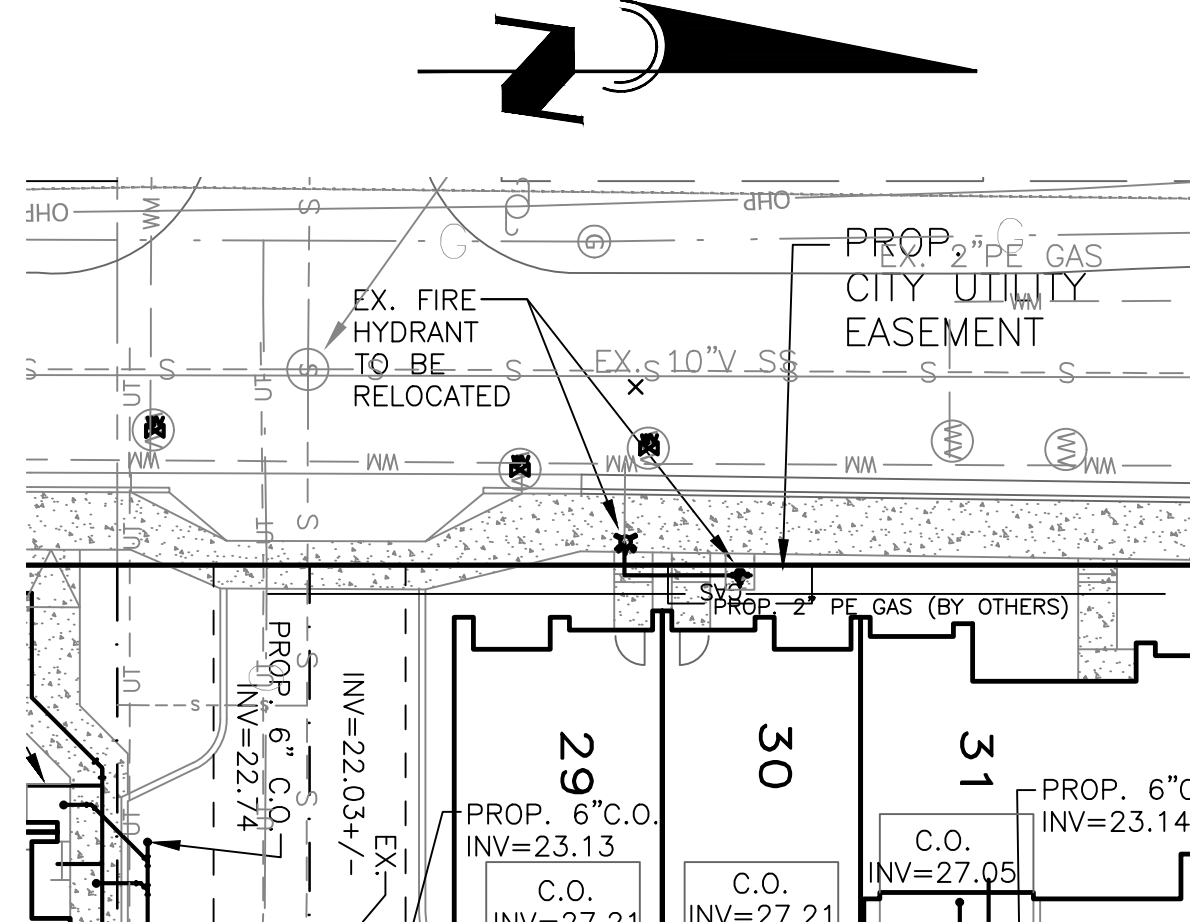
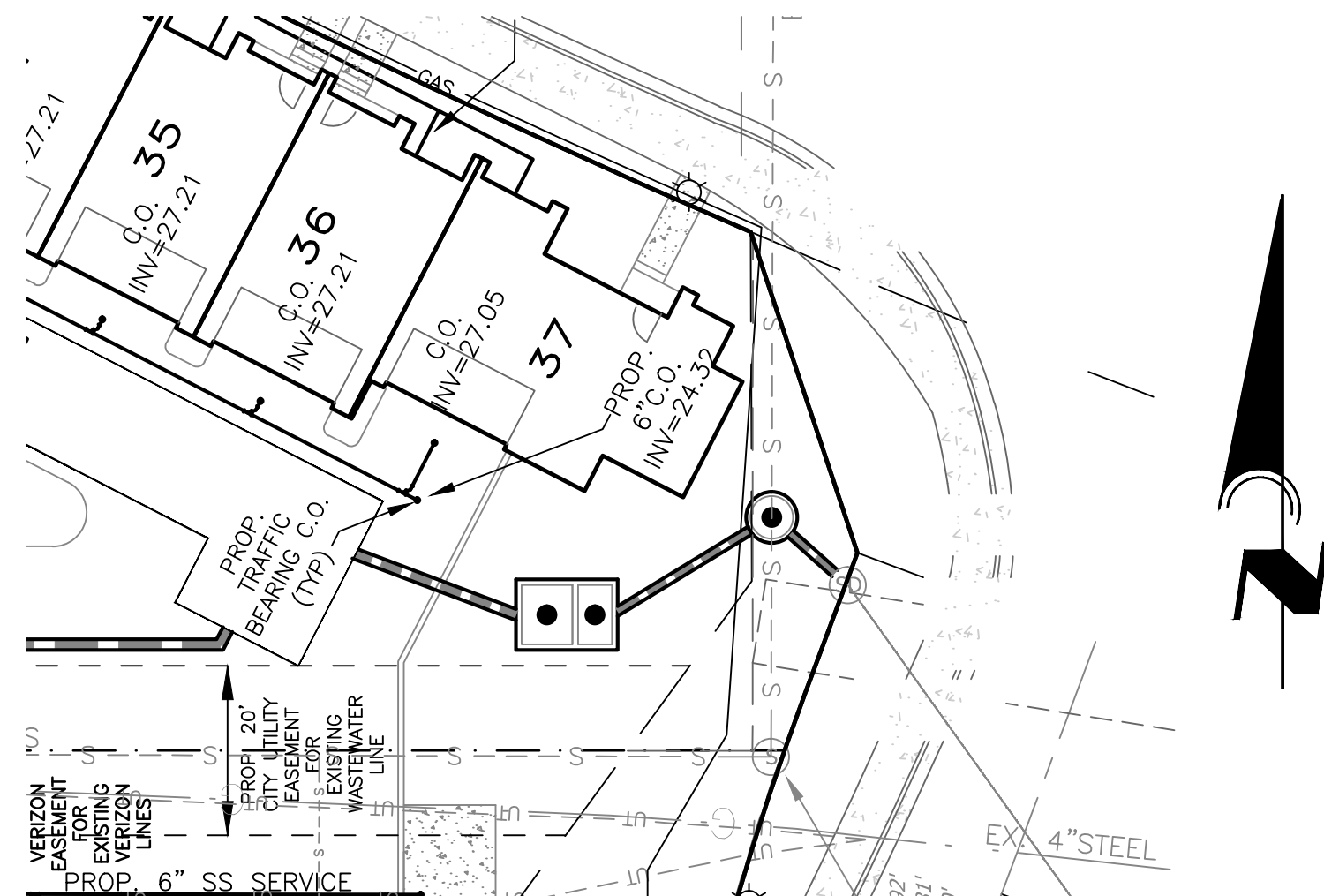
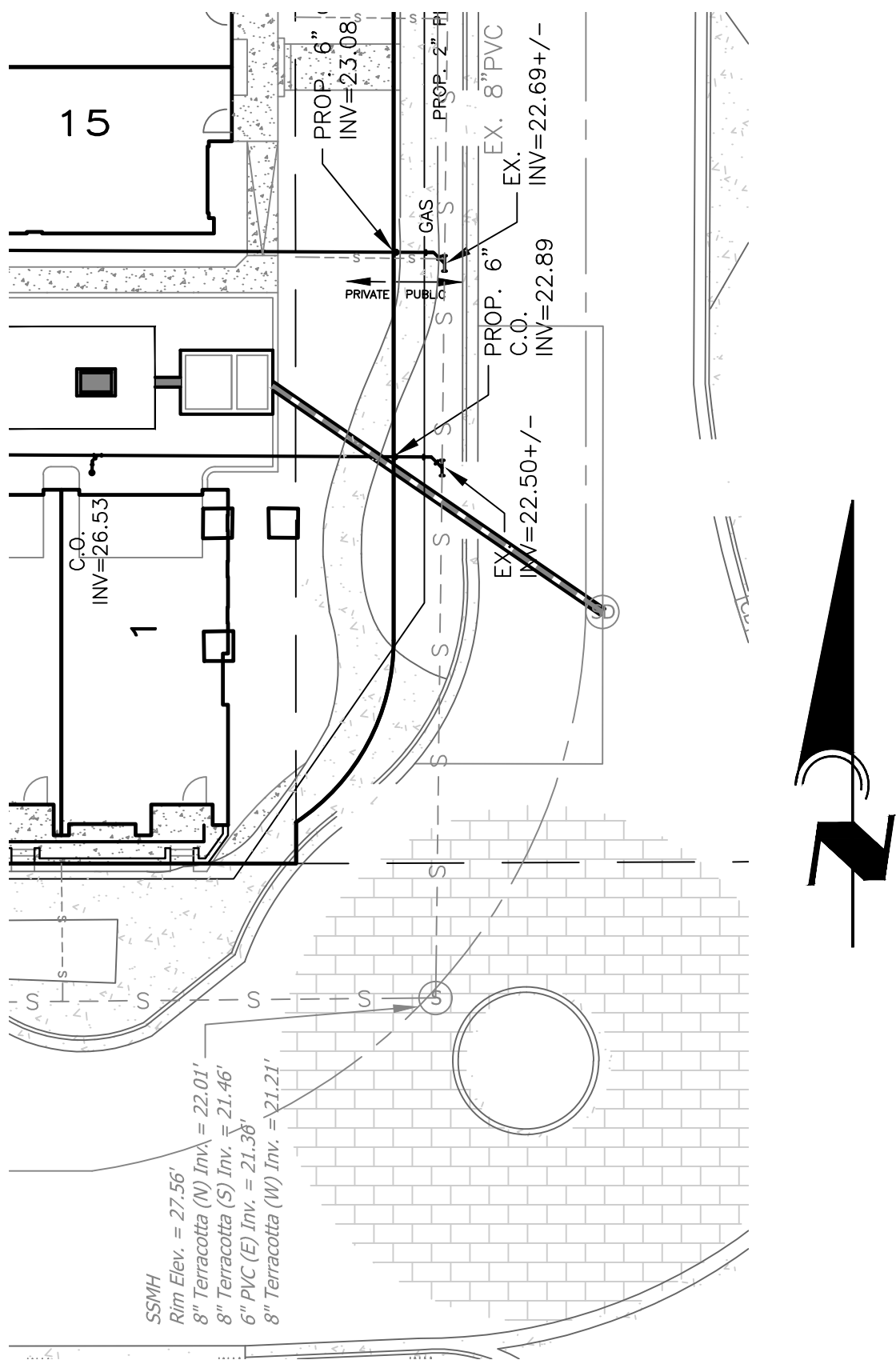
REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFWM 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/3/16	UTILITY 06/29/16

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

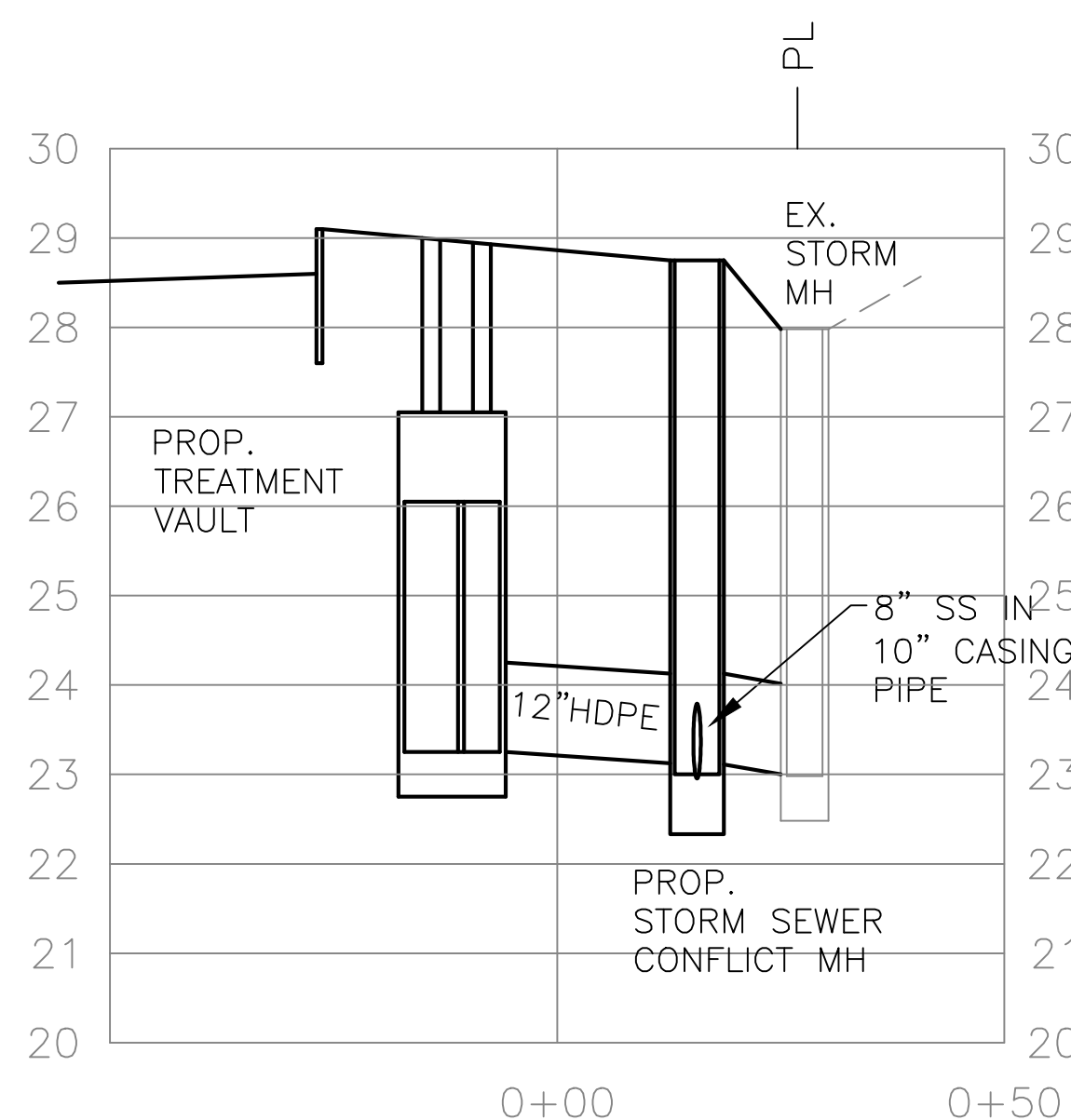
PROJ: SCHOOL AVENUE TOWNHOMES
SCALE: 1"=20'
DATE: 12/16/15
CLIENT: ICON RESIDENTIAL
DESC: MASTER UTILITY PLAN

APPROVED BY: SEAN R. CROWELL, PE
FLORIDA CERTIFICATE NO: 58584

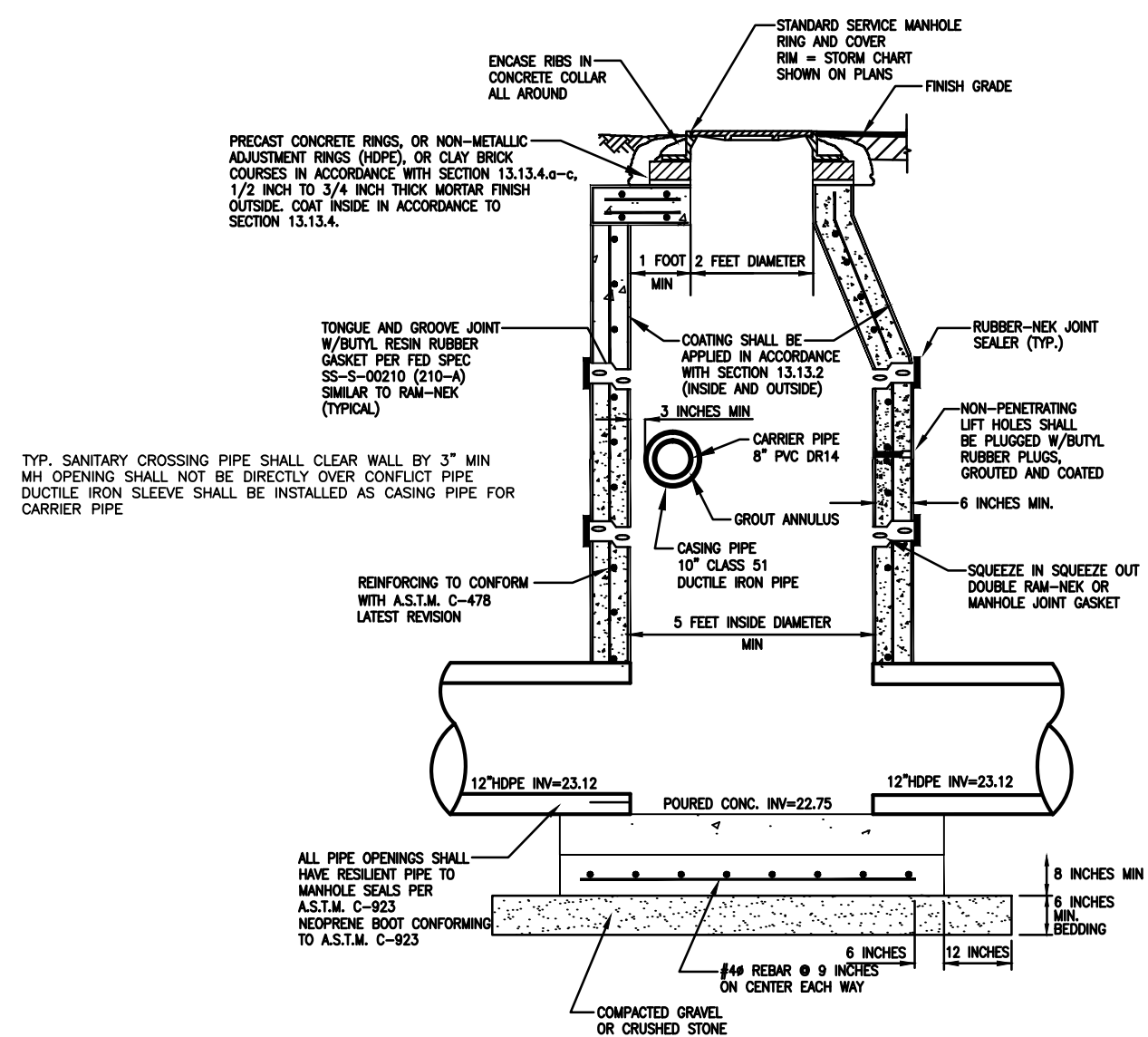
DRAWN BY: SRC
CAD FILE: ICON01MUP
JOB NO: ICON0001
DRWG. NO: 8



SOUTH STORM-SANITARY PROFILE
VERT: 1"=20'
HORIZ: 1"=2'



NORTH STORM-SANITARY PROFILE
VERT: 1"=20'
HORIZ: 1"=2'

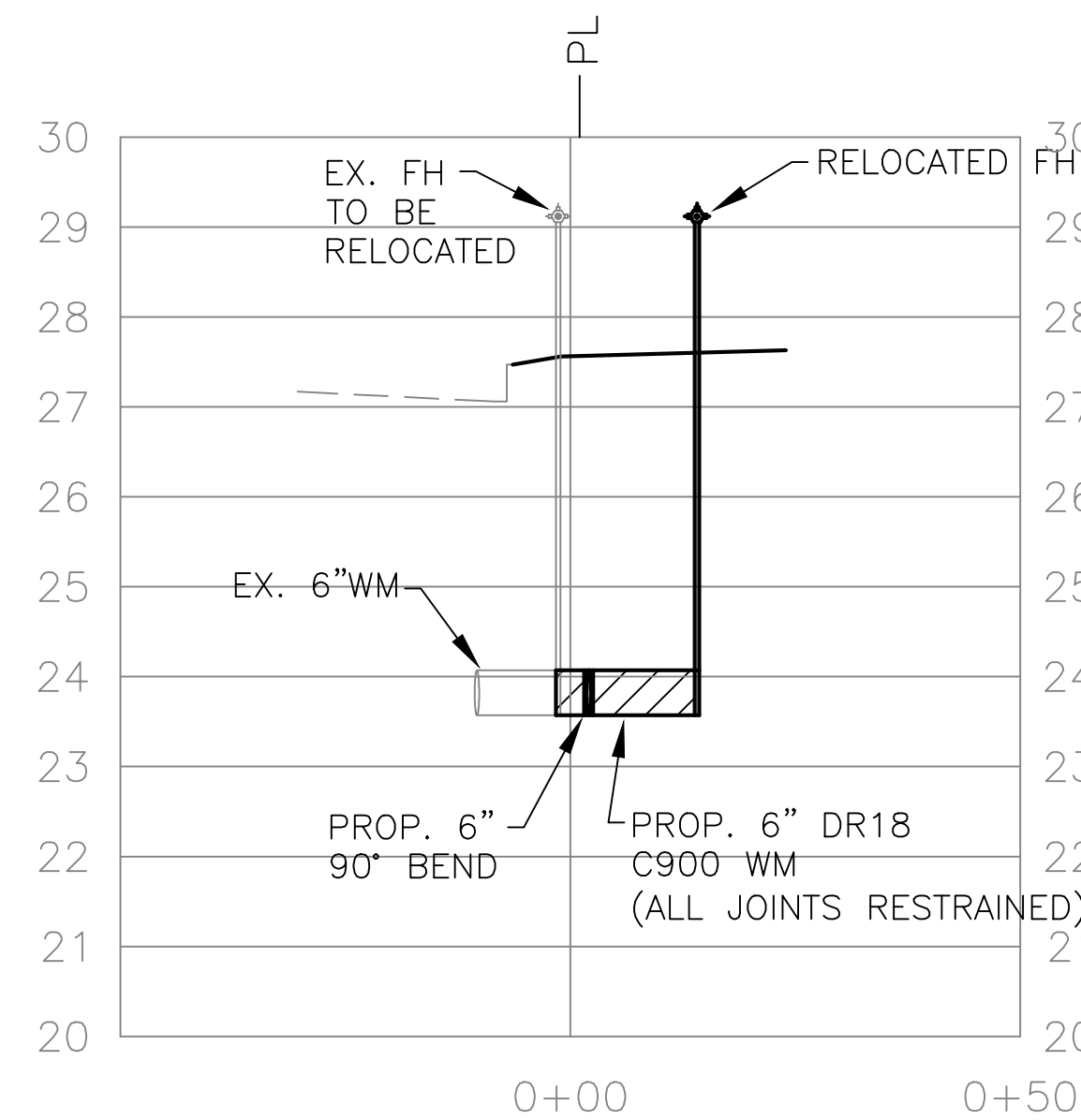


NOTES:
1. MANHOLE SHALL CONFORM TO A.S.T.M. C-478 LATEST REVISION.
2. INTERCEPTOR MANHOLES, DROP MANHOLES, AND MANHOLES WITH INTERCEPTING FORCE MAINS SHALL BE LINED IN ACCORDANCE WITH SECTION 13.13.2 OF THE UNIFORM WATER, WASTEWATER, AND REUSE SYSTEM CODE.
3. LIFTING HOLES SHALL BE NON-PENETRATING AND GROUTED AND COATED.
STORM SEWER CONFLICT MANHOLE
N.T.S.

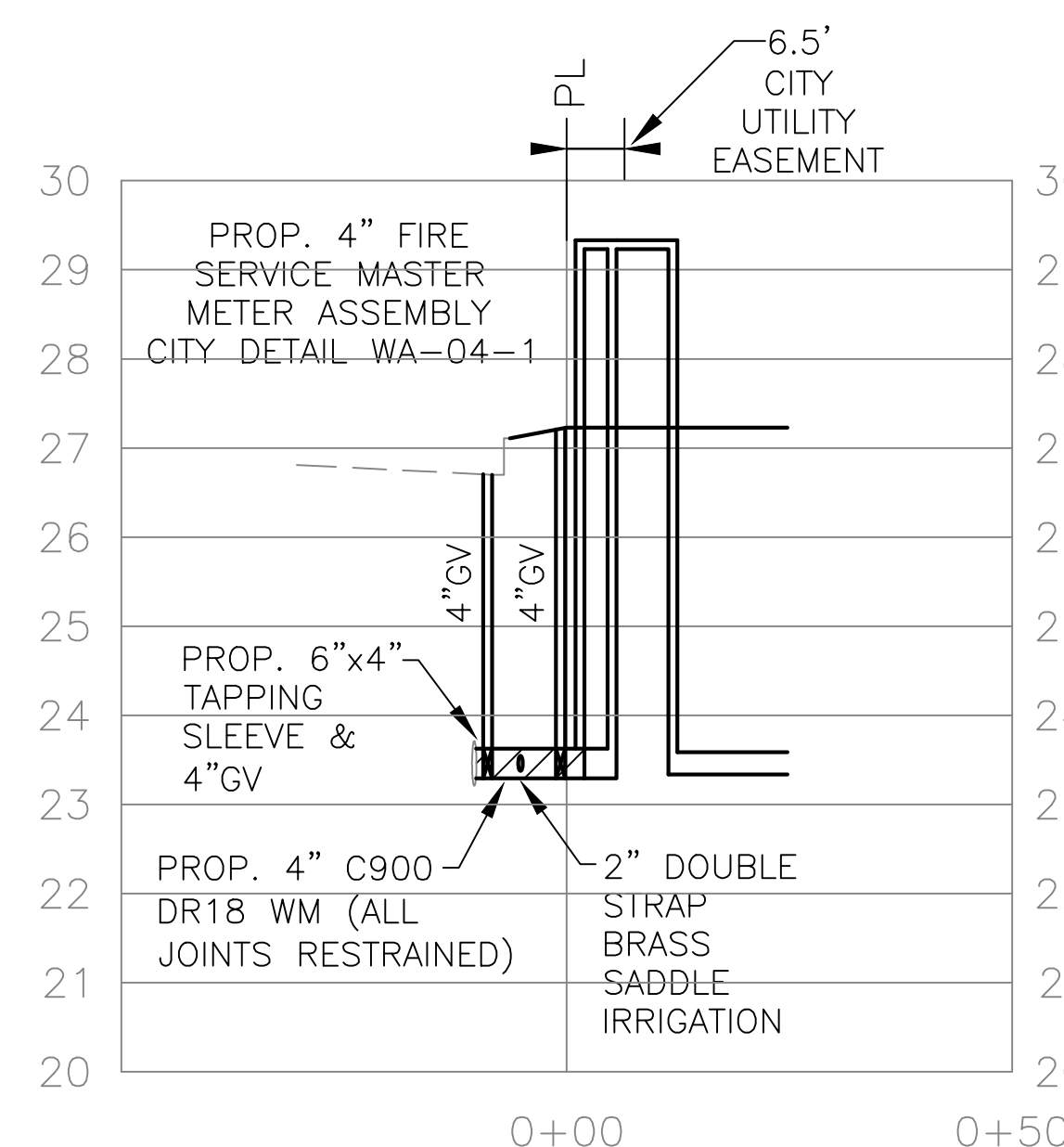
CASING PIPE
10" CLASS 51
DUTILE IRON PIPE
N INV = 22.95
S INV = 22.92

CARRIER PIPE
8" PVC 8014
N INV = 23.05
S INV = 23.03

THE CONTRACTOR WILL BE RESPONSIBLE, IF NECESSARY, DURING THE INSTALLATION OF THE PROPOSED STORM SEWER CONFLICT MH, TO DIVERT FLOW INTO PUMP TRUCKS AND TO DISPOSE OF IT AT A PROPER FACILITY.



FIRE HYDRANT PROFILE
VERT: 1"=20'
HORIZ: 1"=2'



WATER SERVICE PROFILE
VERT: 1"=20'
HORIZ: 1"=2'



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1-800-432-4770

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REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFWMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/3/16	UTILITY 06/29/16

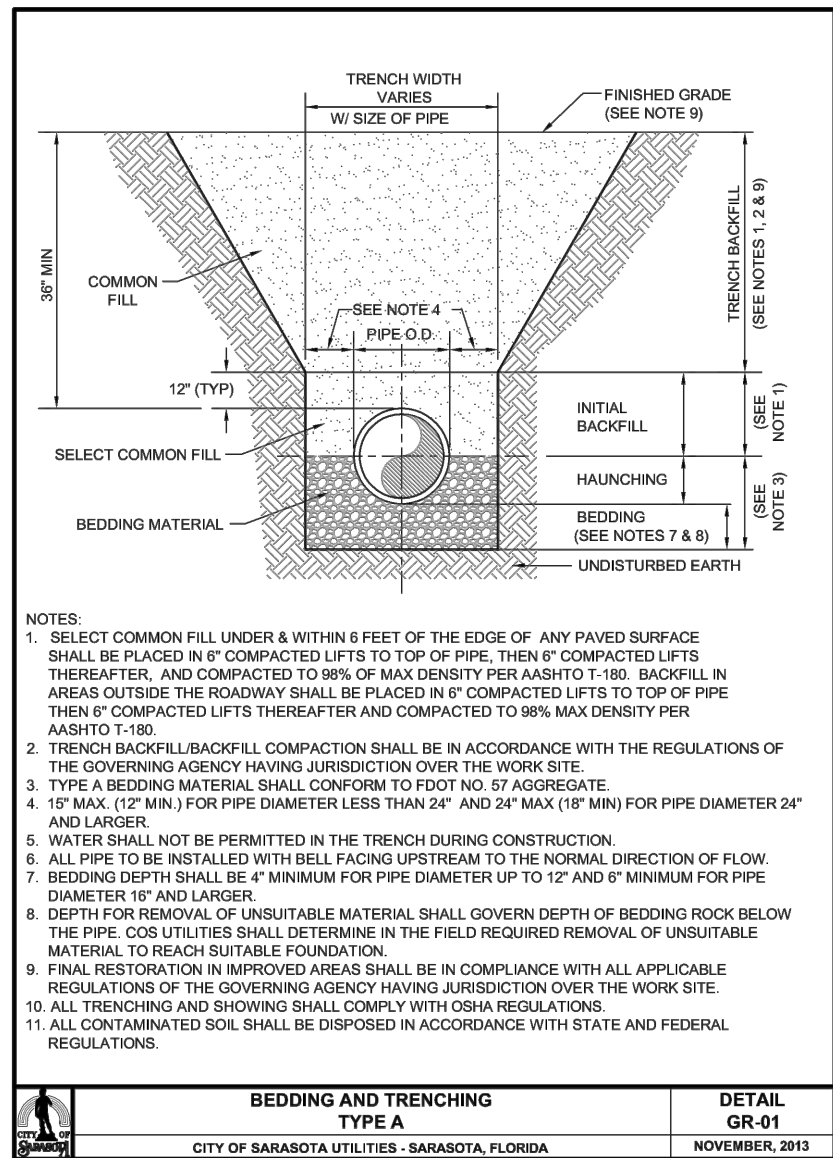
ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

PROJ: SCHOOL AVENUE TOWNHOMES
SCALE: 1"=20'
DATE: 12/16/15
CLIENT: ICON RESIDENTIAL
DESC: PLAN & PROFILES

APPROVED BY: SEAN R. CROWELL, PE
FLORIDA CERTIFICATE NO: 58584
JOB NO: ICON0001
DRWG. NO: 8A

FOR CITY ENGINEER'S USE

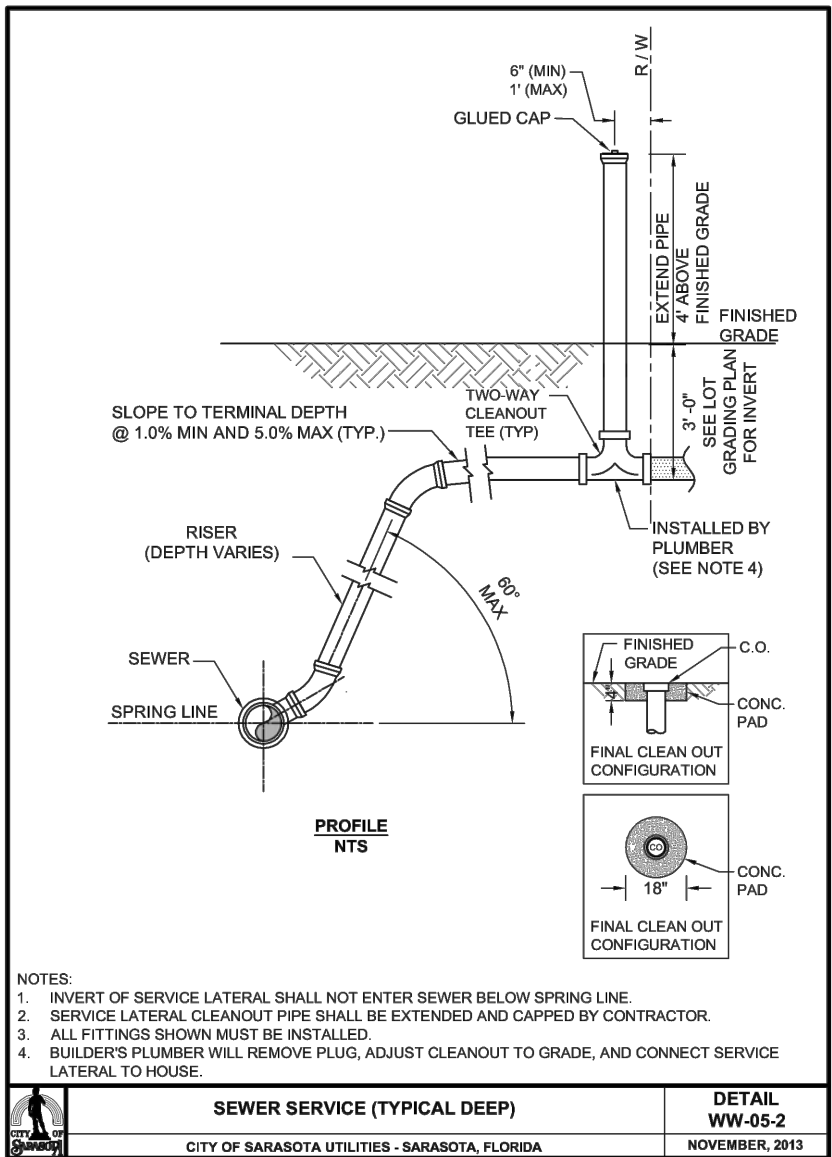
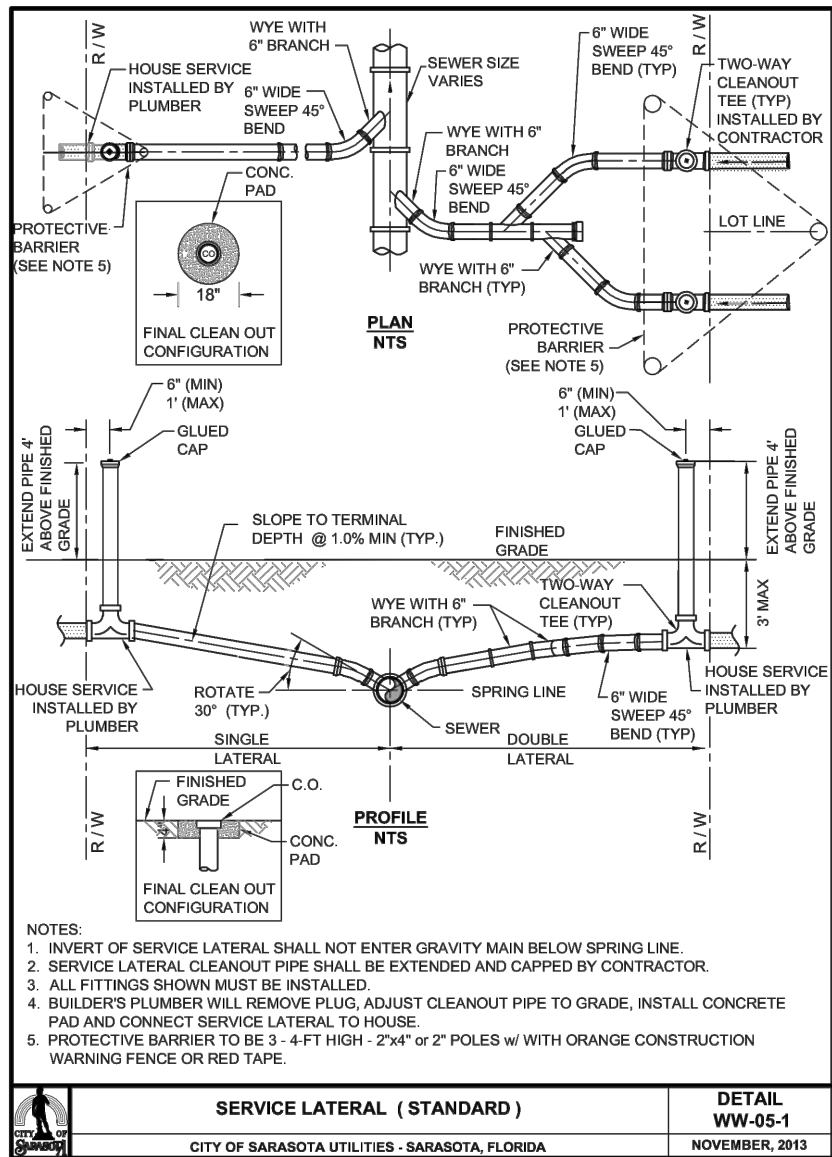
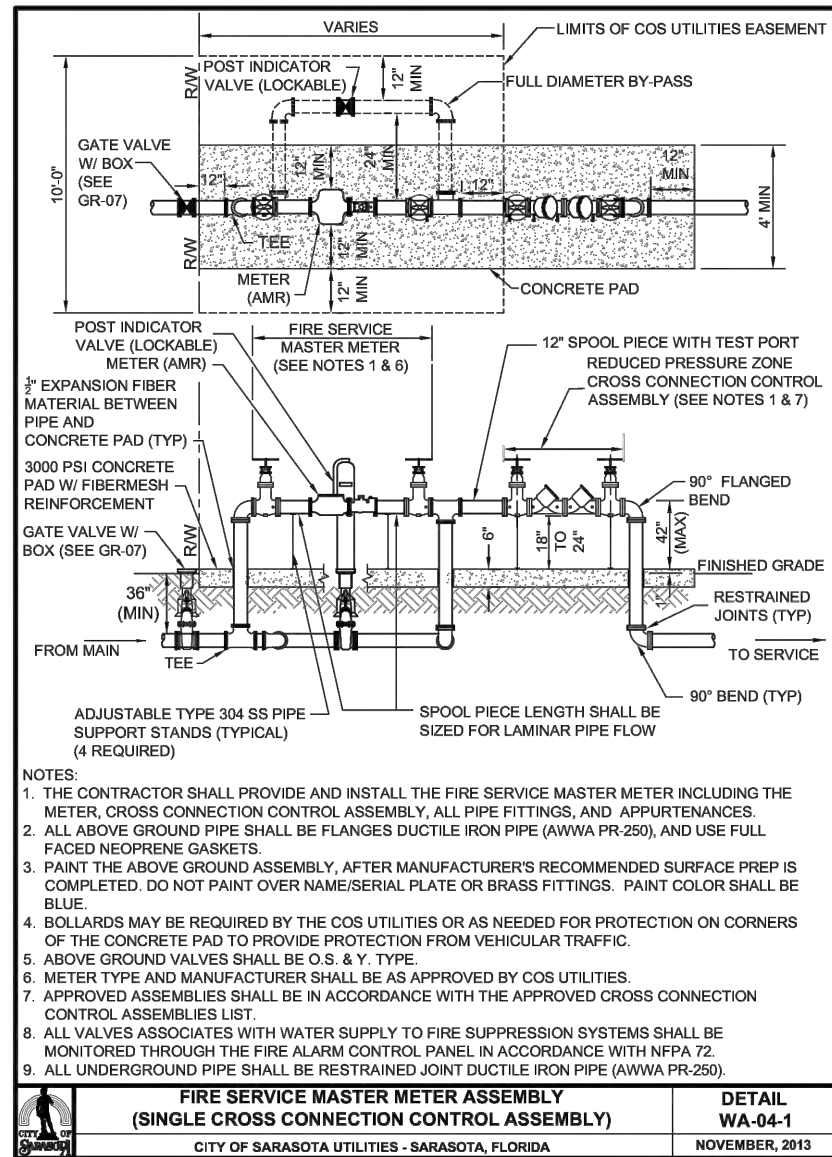
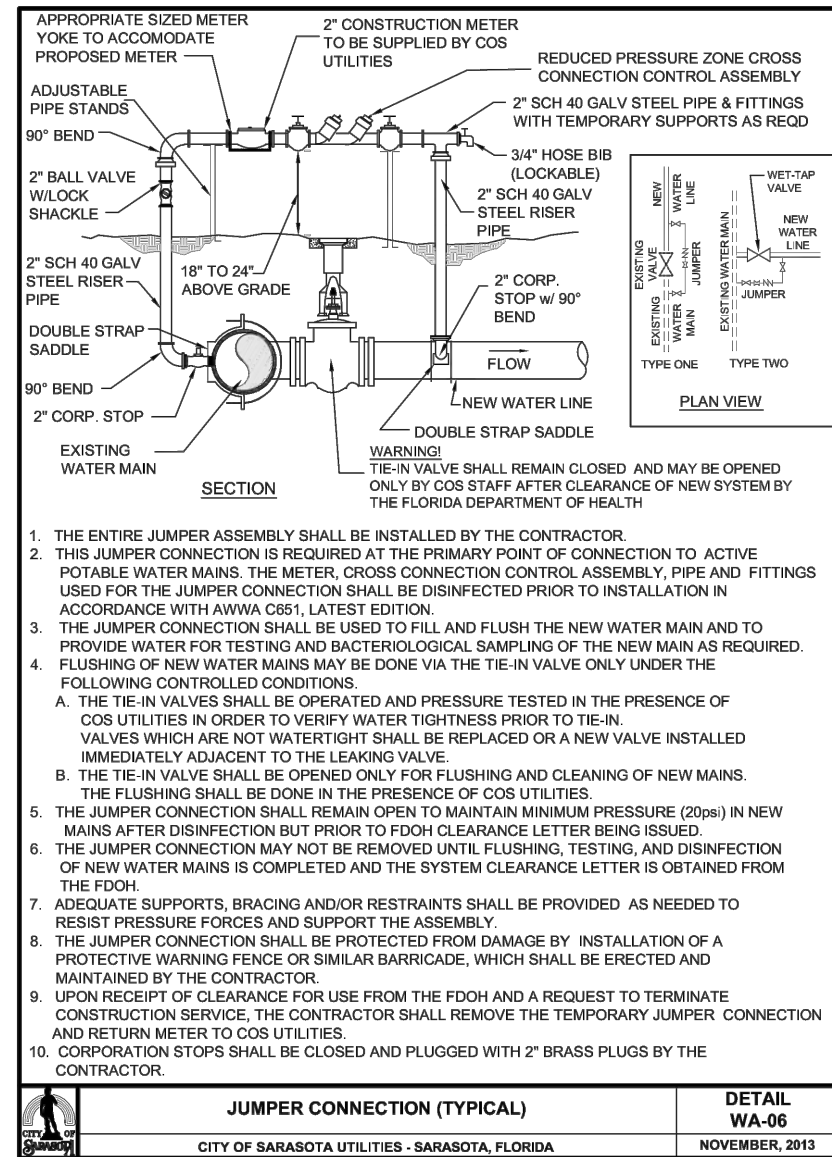
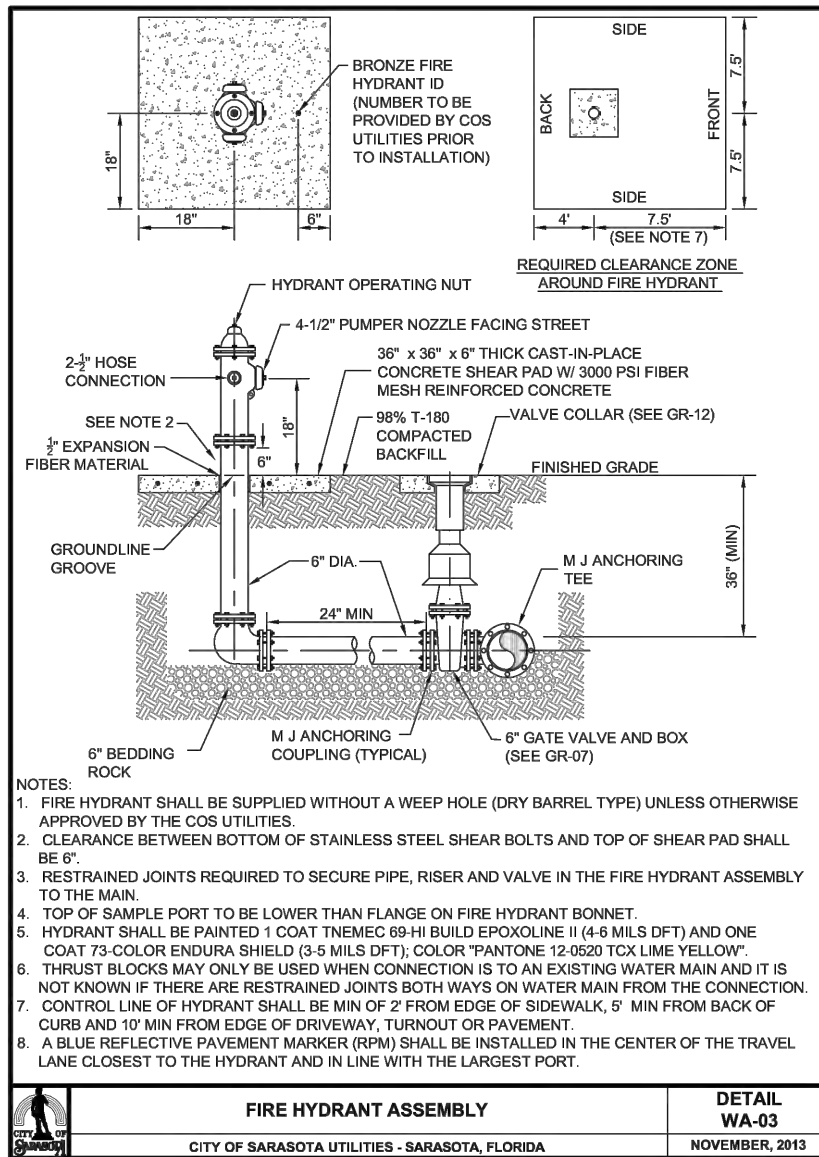
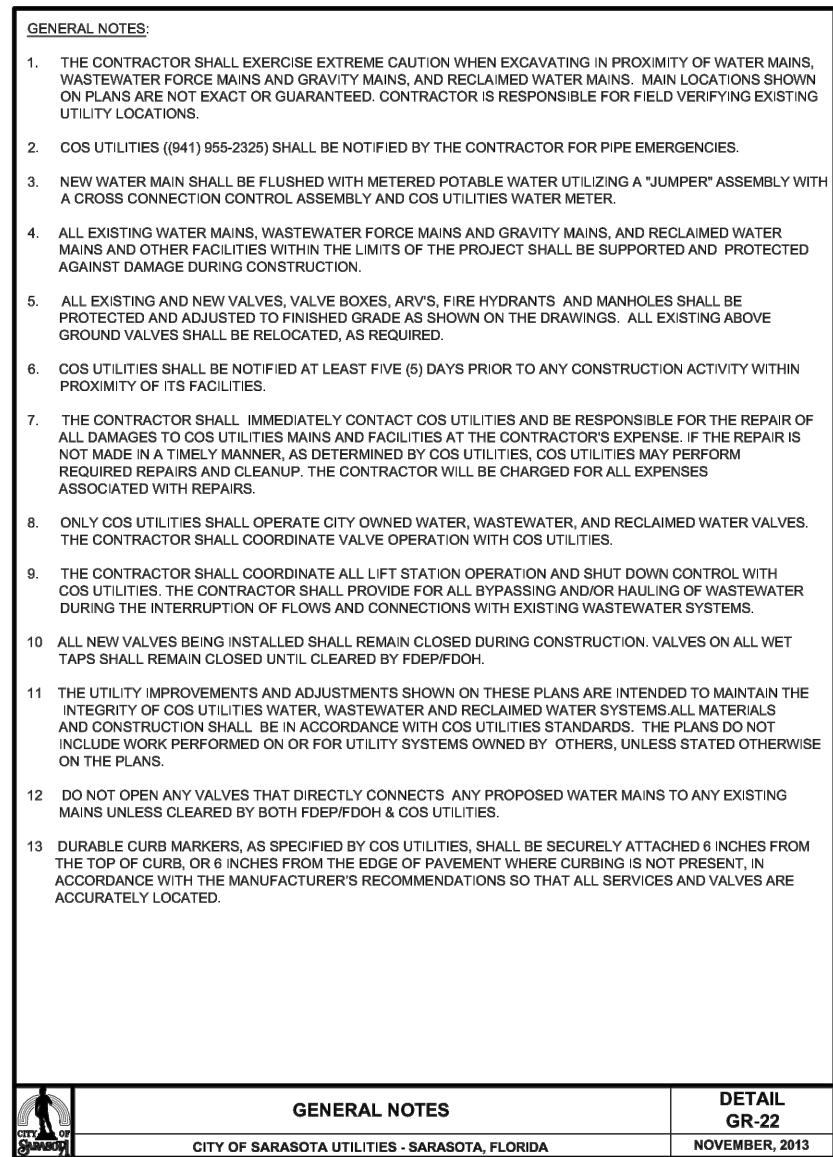
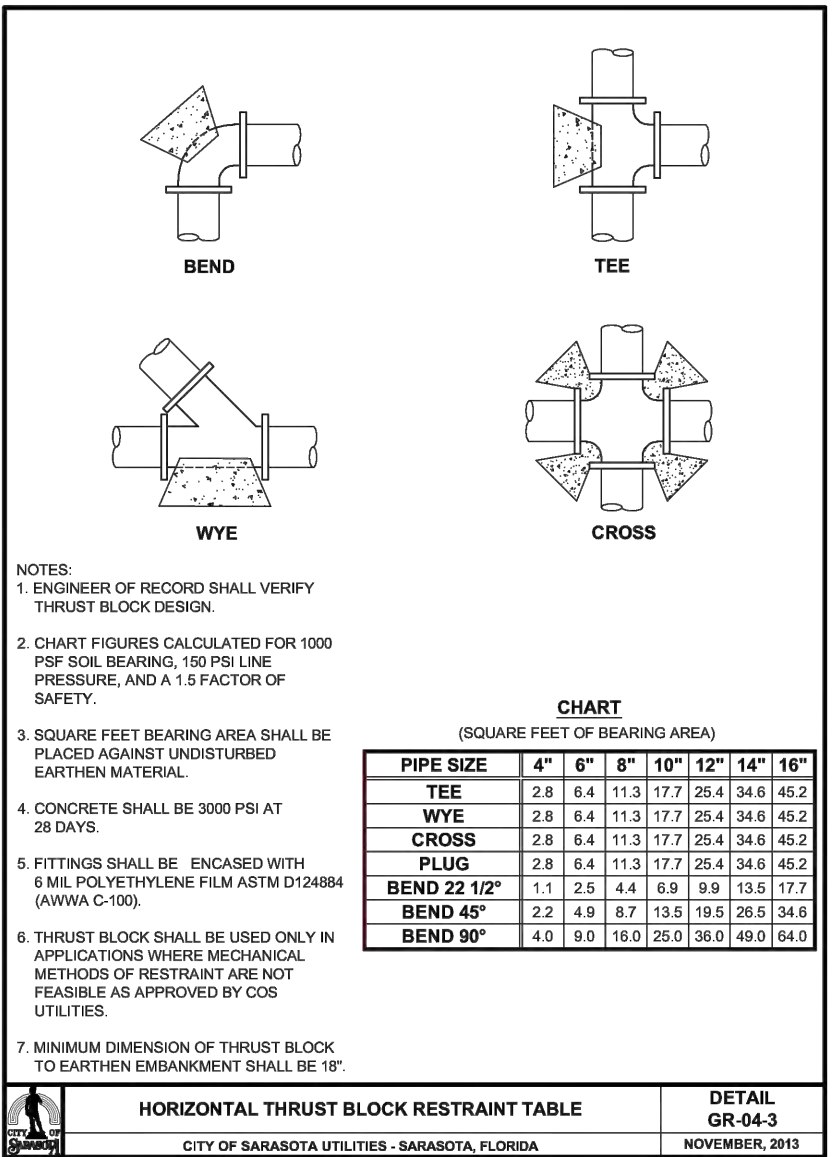
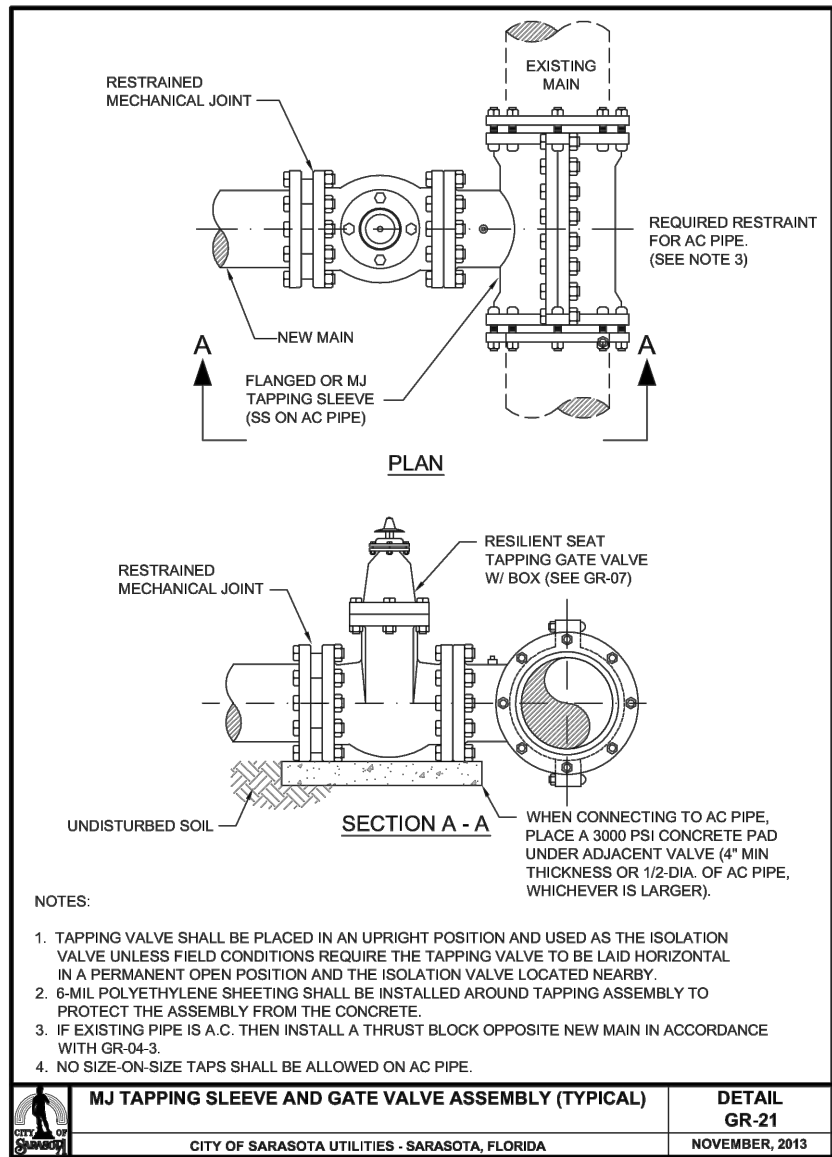
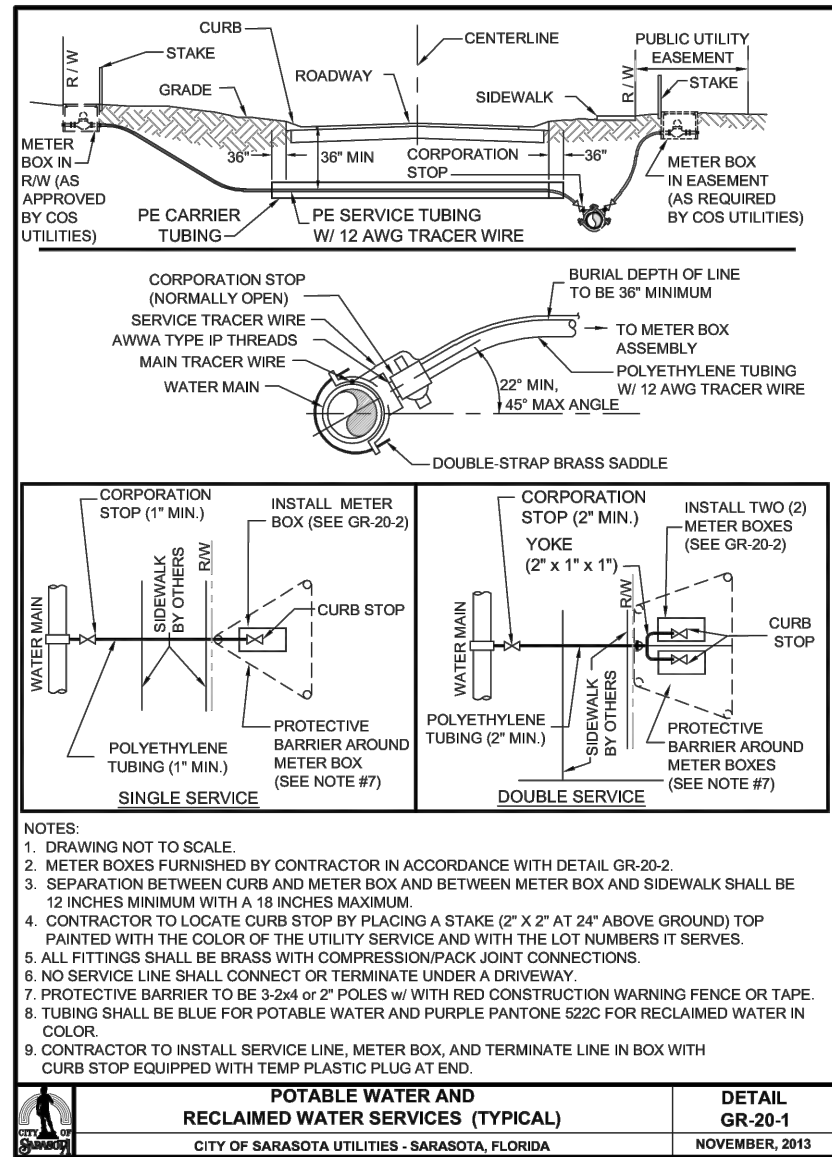
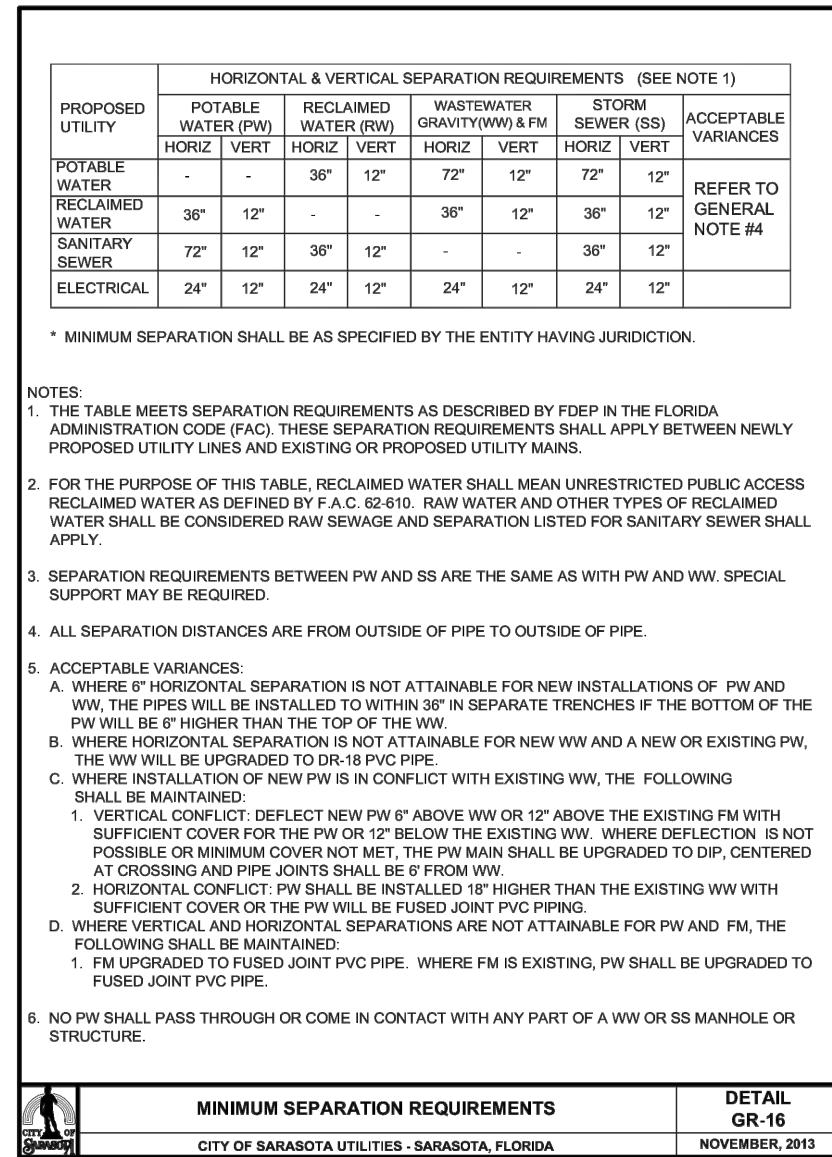
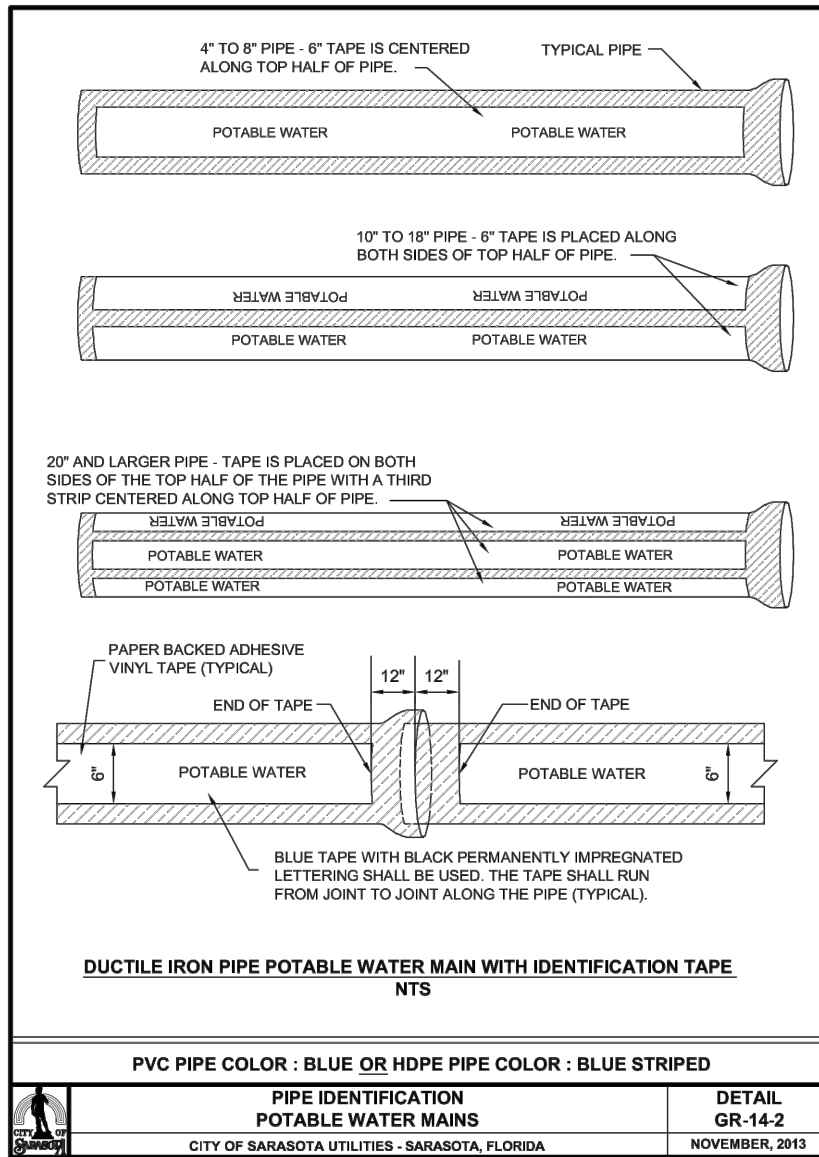
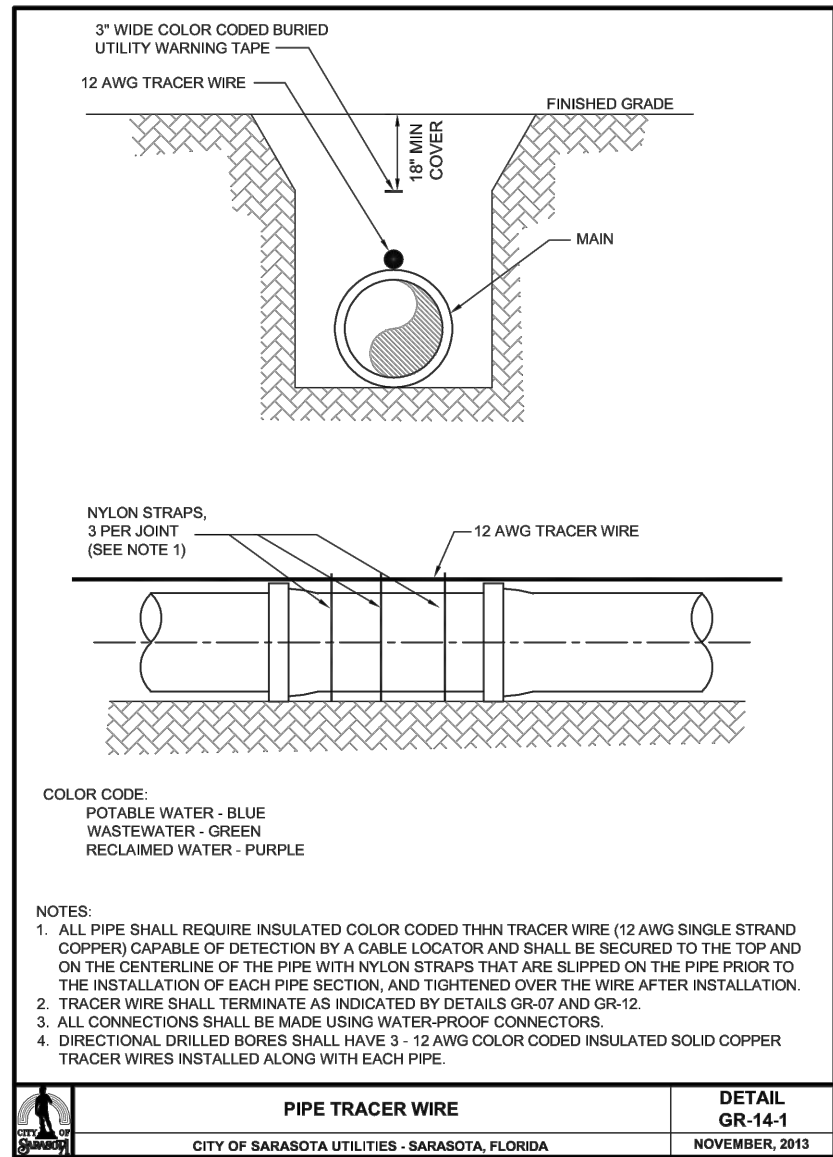
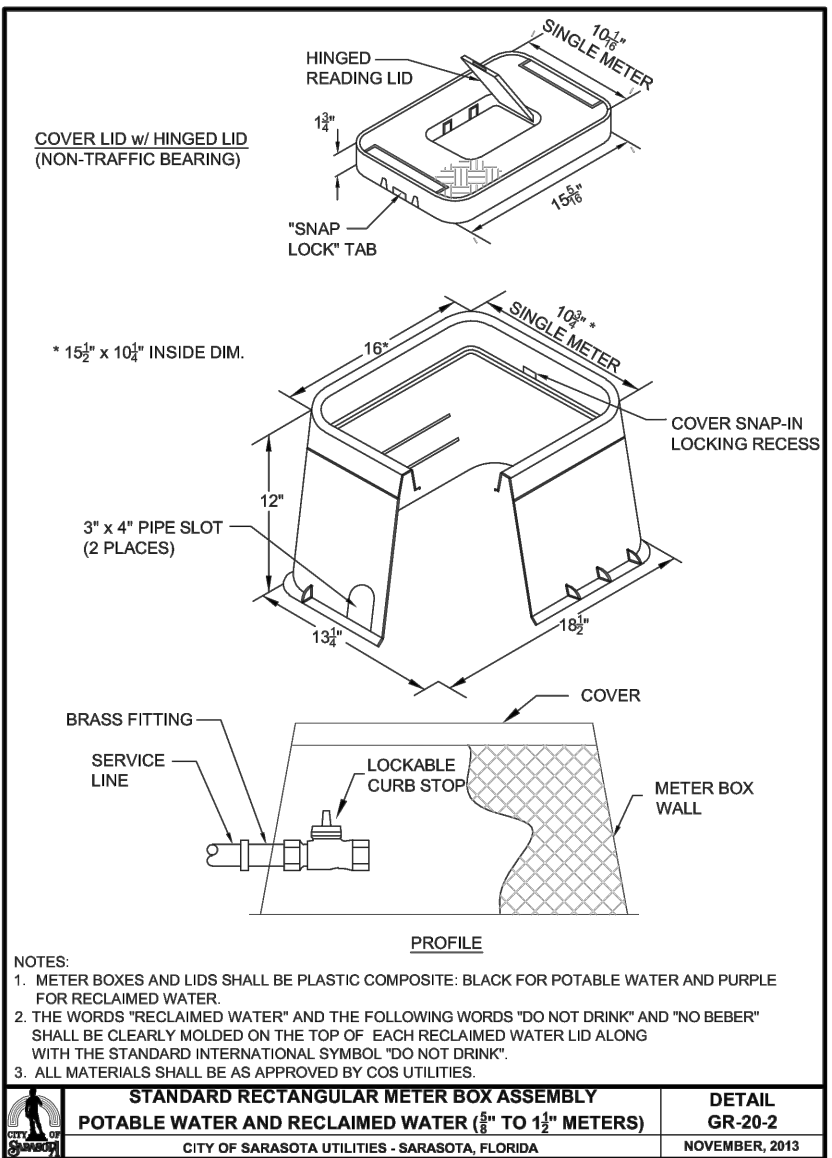
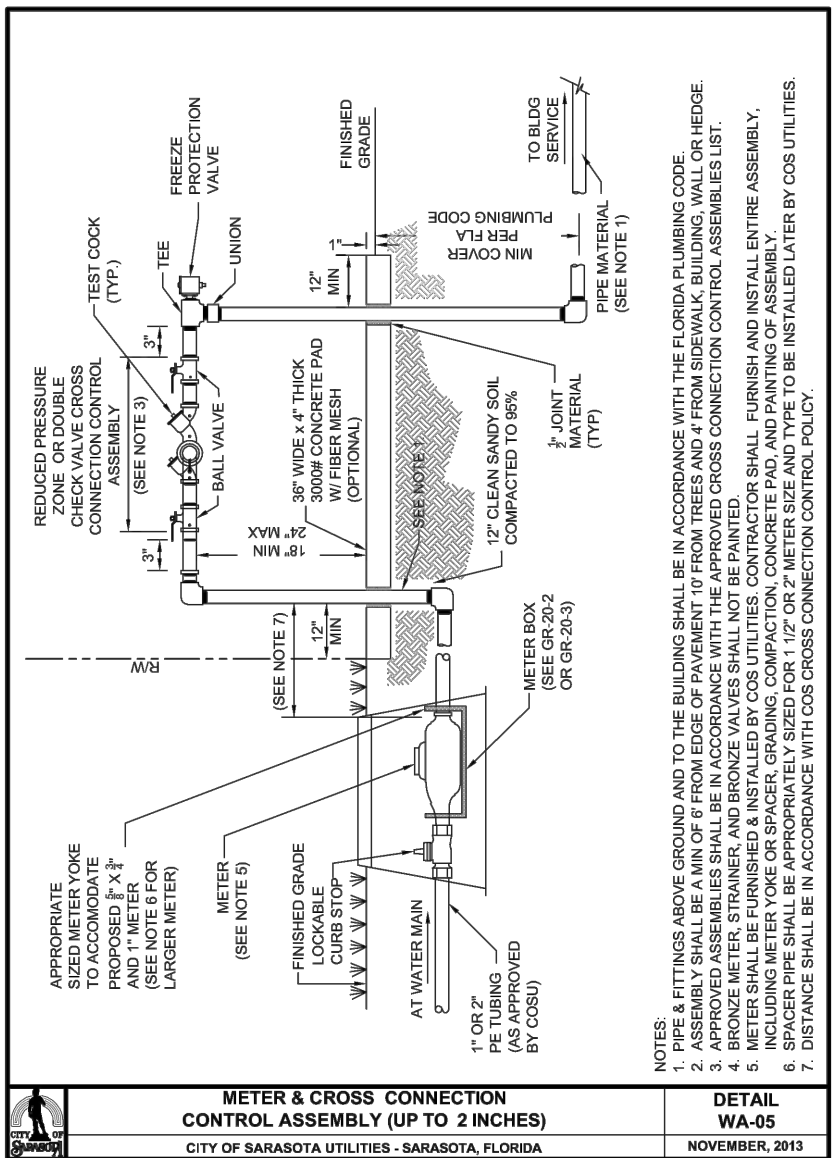
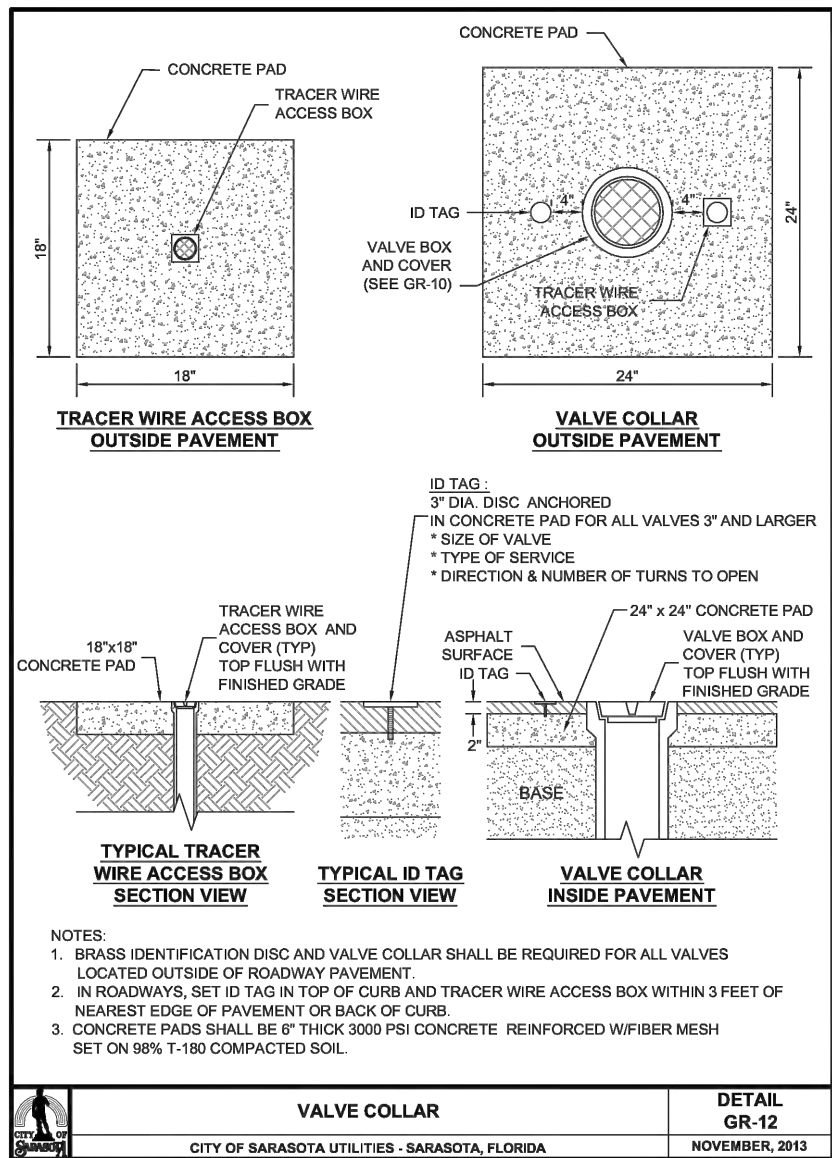
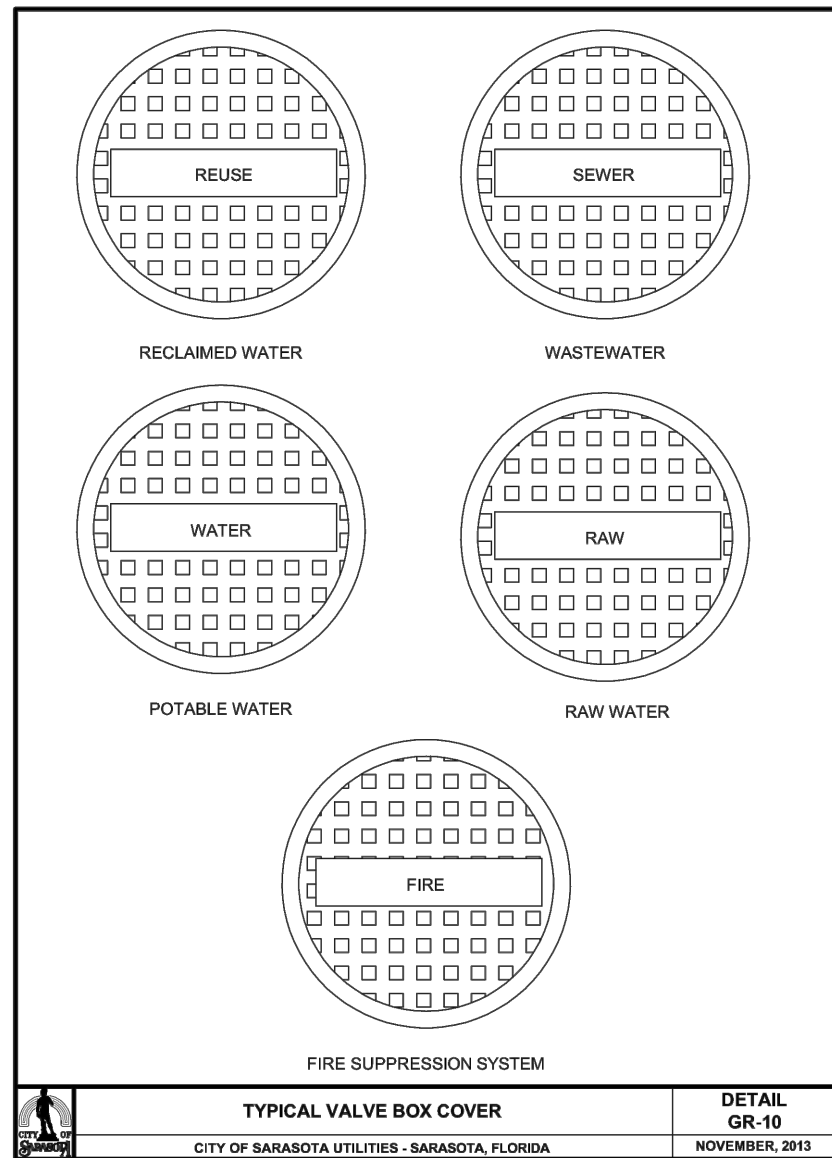
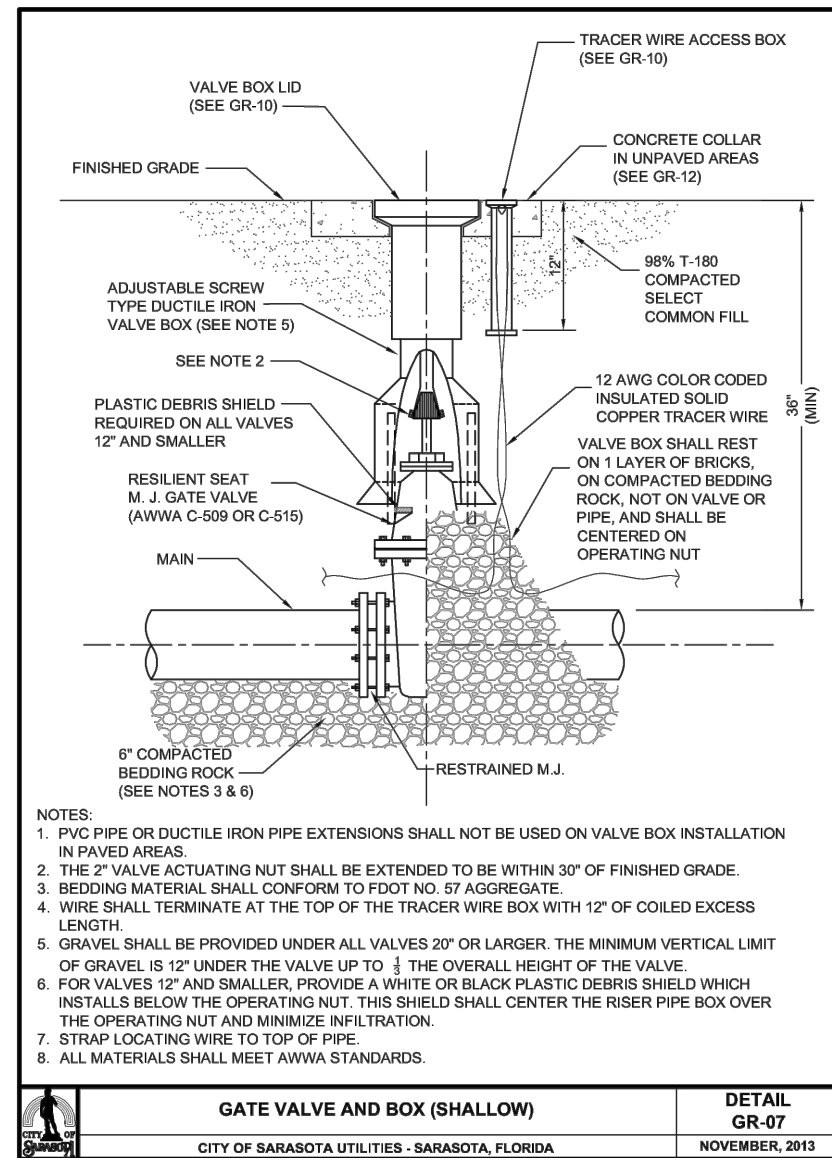
DATE:



VERTICAL BENDS									
PIPE SIZE	90°	45°	LOW SIDE	22½°	11¼°	TEE (SEE NOTE 1)	DEAD END	PIPE SIZE	90°
4"	36"	11"	10"	4"	8"	2"	13"	36"	36"
6"	50"	15"	20"	6"	11"	3"	20"	50"	50"
8"	72"	20"	28"	8"	16"	4"	28"	72"	72"
10"	86"	24"	36"	10"	17"	5"	36"	86"	86"
12"	102"	28"	42"	12"	20"	6"	42"	102"	102"
14"	116"	32"	48"	14"	22"	6"	48"	116"	116"
16"	131"	36"	54"	16"	26"	7"	54"	131"	131"
18"	144"	40"	60"	18"	29"	8"	60"	144"	144"
20"	158"	44"	66"	20"	31"	8"	66"	158"	158"
24"	180"	51"	77"	24"	37"	10"	77"	180"	180"
30"	221"	61"	92"	30"	44"	12"	92"	221"	221"
36"	258"	71"	106"	36"	51"	14"	106"	258"	258"

HORIZONTAL BENDS									
PIPE SIZE	90°	45°	22½°	11¼°	TEE (SEE NOTE 1)	DEAD END	PIPE SIZE	90°	45°
4"	14"	6"	3"	2"	13"	36"	4"	14"	6"
6"	20"	8"	4"	2"	20"	50"	6"	20"	8"
8"	26"	11"	5"	3"	26"	72"	8"	26"	11"
10"	31"	13"	6"	3"	31"	86"	10"	31"	13"
12"	36"	15"	7"	4"	36"	102"	12"	36"	15"
14"	41"	17"	8"	4"	41"	116"	14"	41"	17"
16"	46"	19"	9"	5"	46"	131"	16"	46"	19"
18"	50"	21"	10"	5"	50"	144"	18"	50"	21"
20"	55"	23"	11"	6"	55"	158"	20"	55"	23"
24"	62"	26"	13"	6"	62"	180"	24"	62"	26"
30"	74"	31"	17"	7"	74"	221"	30"	74"	31"
36"	85"	35"	17"	8"	85"	258"	36"	85"	35"

DETAIL
GR-11
CITY OF SARASOTA UTILITIES - SARASOTA, FLORIDA
NOVEMBER, 2013



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1-800-432-4770
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REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/05/16	1 - SFWFMD 04/8/16
SRC	06/3/16	2 - ENGINEERING 05/11/16, UTILITY 05/19/16

ENGINEERING, INC.
 8340 CONSUMER COURT
 SARASOTA, FL 34240
 EB #4334

SCHOOL AVENUE TOWNHOMES
 AS SHOWN
 DATE: 12/16/15
 CLIENT: SEAN R. CROWELL, PE
 FLORIDA CERTIFICATE NO: 58584
ICON RESIDENTIAL
 WATER & SEWER DETAILS

FOR CITY ENGINEER'S USE
 DRAWN BY: SRC
 DATE FILE: 12/16/15
 JOB NO: 1500001
 DRWG. NO: 9
 DATE:



The Ringling

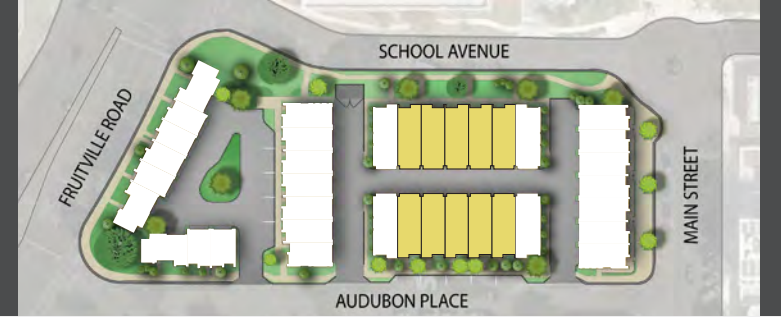
4 Bedroom/ 3.5 Bath

Conditioned: 2,598 sf

Garage: 427 sf

Terrace & Balcony: 218 sf

Roof Terrace: 419 sf



1st Floor



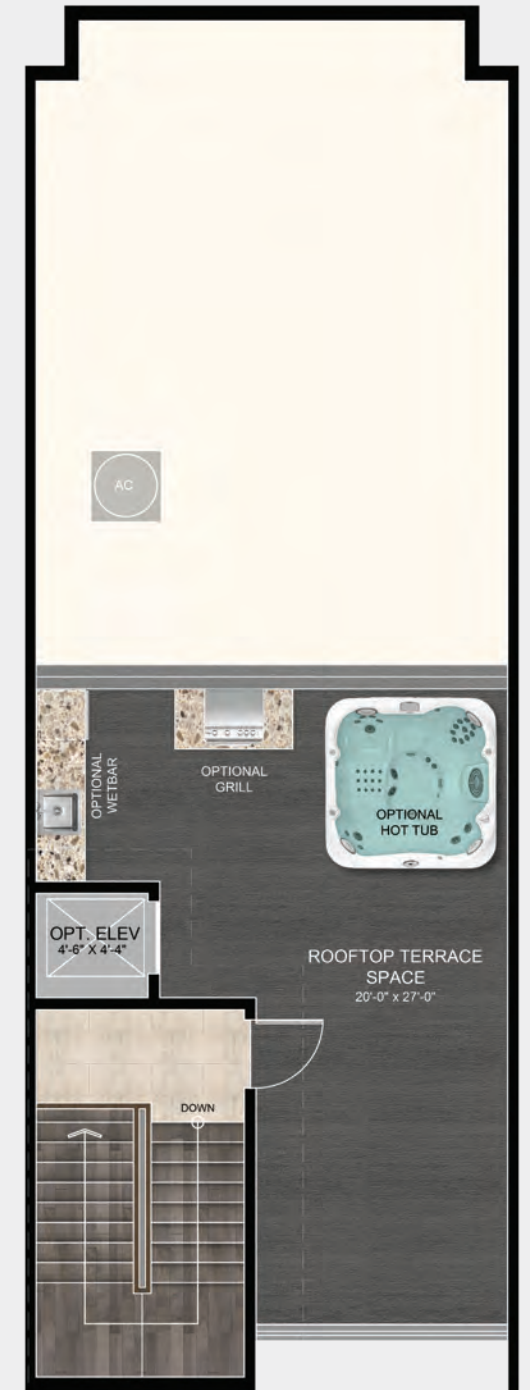
2nd Floor



3rd Floor



4th Floor





The Calder

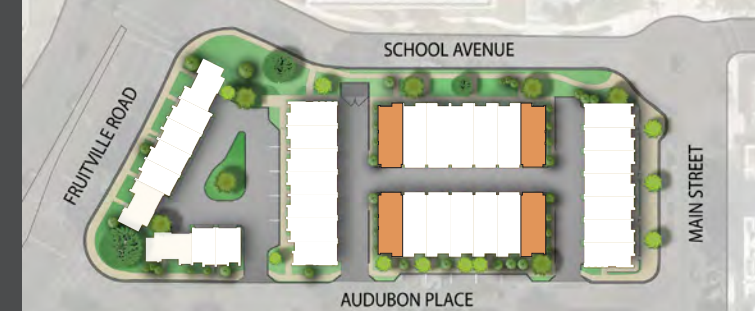
3 Bedroom/ 3.5 Bath

Conditioned: 2,875 sf

Garage: 448 sf

Terrace & Balcony: 241 sf

Roof Terrace: 419 sf



1st Floor



2nd Floor



3rd Floor



4th Floor



These drawings are conceptual only and are for the convenience of reference. They should not be relied upon as representations, express, or implied, of the final detail of the residences. Units shown are examples of the unit types and may not depict actual units. May also be built in reverse or mirrored image than shown. Stated square footages and ranges for particular unit type and are measured to the exterior boundaries of the exterior walls and the centerline of interior demising and in fact vary from the area that would be determined by using the description and definition of the "Unit" set forth in the Declaration (which generally only includes the interior airspace between the perimeter walls and excludes interior structural components). Development plans are in progress and subject to change without notice. No guarantees are made regarding any component not yet constructed.



The Albers

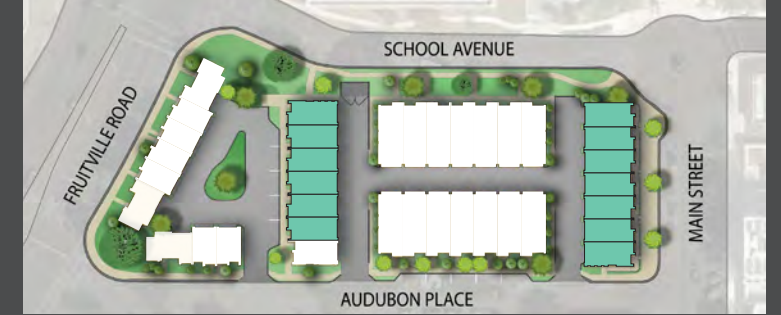
3 Bedroom/ 3.5 Bath

Conditioned: 2,413 sf

Garage: 427 sf

Balcony: 23 sf

Roof Terrace: 310 sf

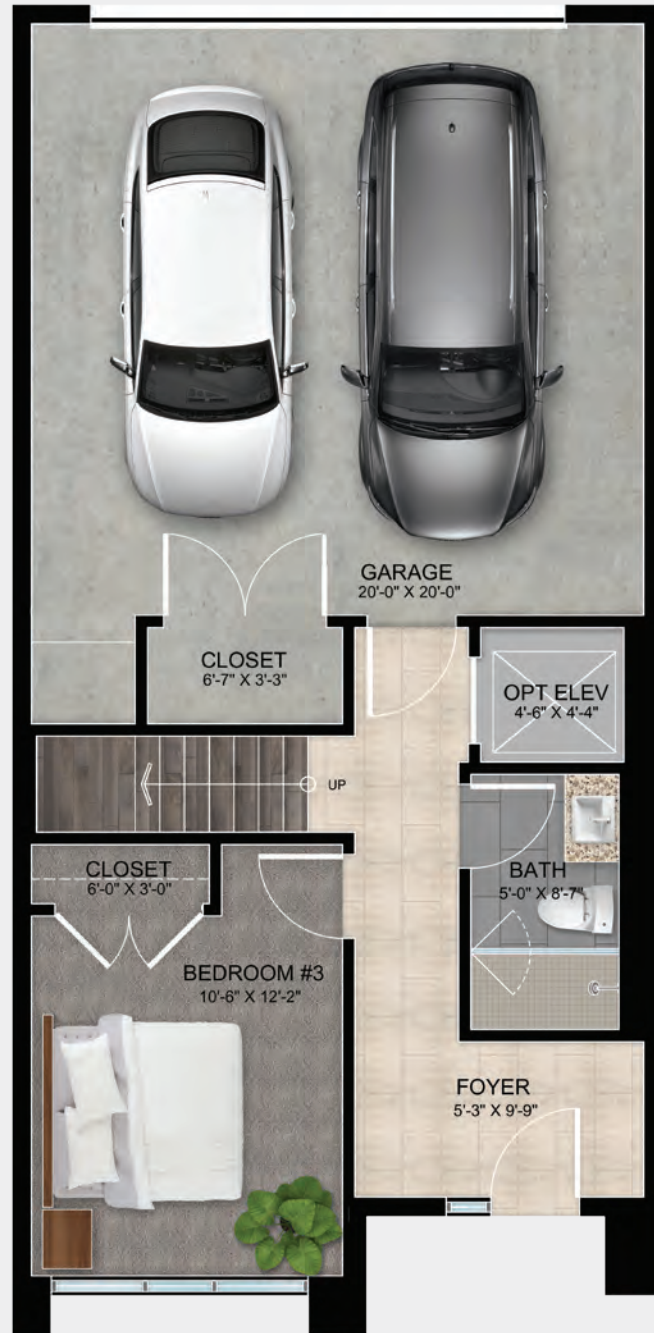


1st Floor

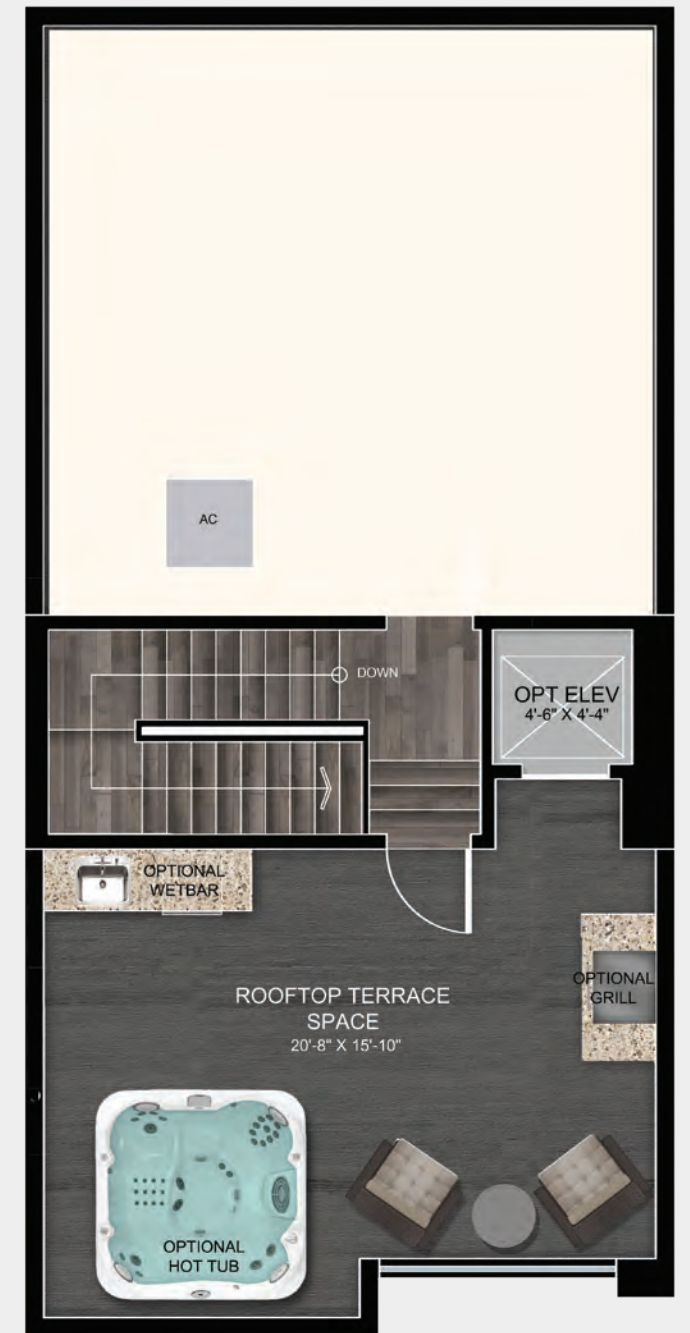
2nd Floor

3rd Floor

4th Floor



END UNIT
WINDOW
LOCATIONS



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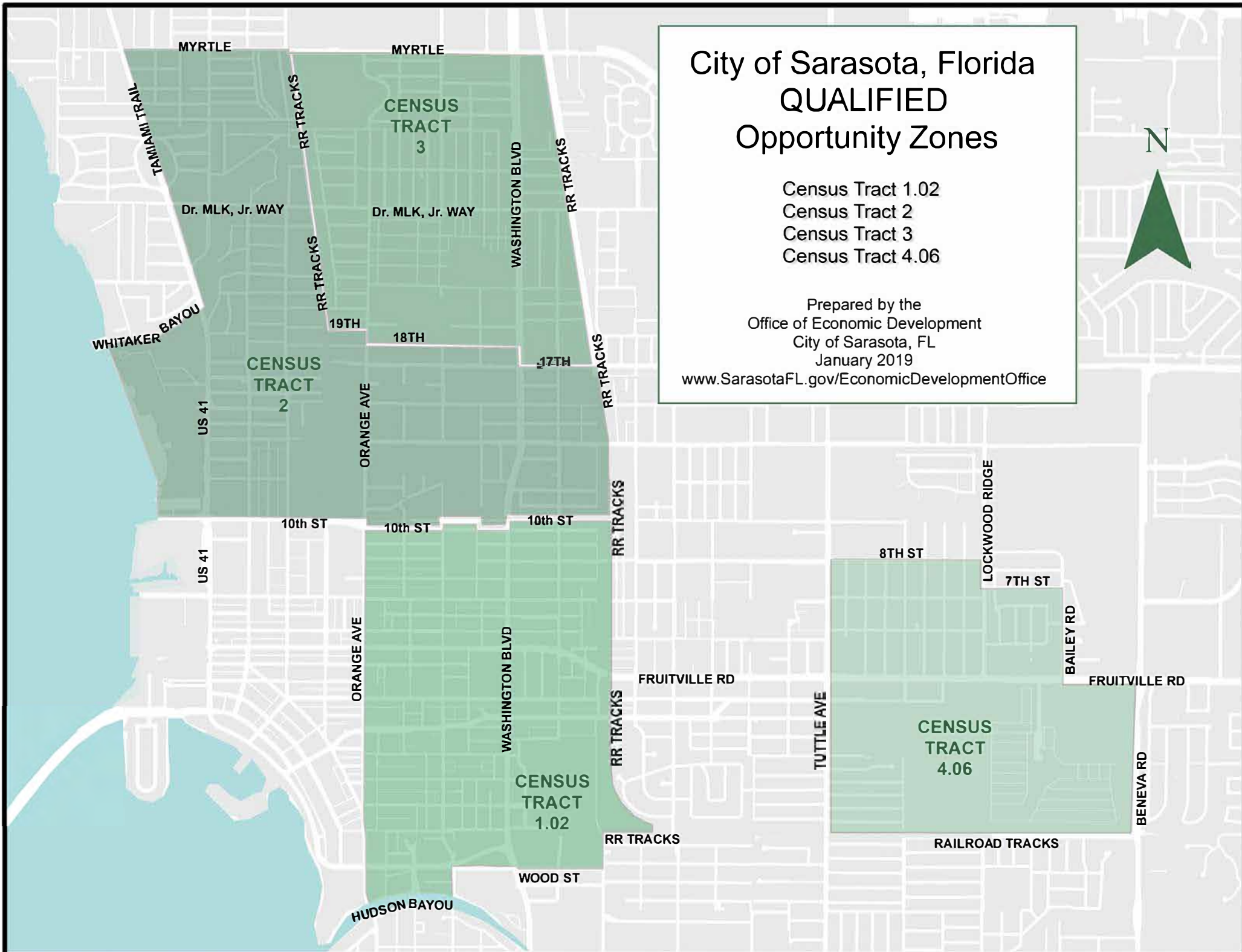
City of Sarasota, Florida QUALIFIED Opportunity Zones

Census Tract 1.02
Census Tract 2
Census Tract 3
Census Tract 4.06

Prepared by the
Office of Economic Development
City of Sarasota, FL
January 2019

www.SarasotaFL.gov/EconomicDevelopmentOffice

N



Low Tax Opportunity Zone FAQ

Q: What is a Low Tax Opportunity Zone?

A: Opportunity Zones, as established in the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for job creators. Opportunity Zones maintain their designation for 10 years. The program encourages private investment in these zones by providing a tax incentive for investors who invest in qualified businesses and property in these areas.

Investors, such as businesses, developers and financial institutions that invest in targeted areas can defer capital gains taxes through investments in federally-established Opportunity Funds.

Q: How was the Opportunity Zone program created?

A: The Opportunity Zone program was created as a part of the Tax Cuts and Jobs Act of 2017, signed by President Donald Trump in December 2017.

Q: Who determines Opportunity Zones?

A: The act allows the Governor of each state to nominate up to 25 percent of eligible census tracts as Opportunity Zones. States then submit their nominations to the U.S. Department of the Treasury, which has 30 days to certify the Opportunity Zones or provide further guidance to the state.

Q: What are census tracts?

A: Census tracts are small, relatively permanent statistical subdivisions of a county that are updated before each U.S. Census. The U.S. Census counts every resident every 10 years. Census tracts average about 4,000 people. A census tract usually covers a geographically contiguous area. For example, in urban areas, census tracts correspond roughly to neighborhoods.

Q: How many census tracts can Florida nominate?

A: Florida can nominate 427 census tracts based on the federal requirements for this program.

Q: What are low-income census tracts?

A: The poverty rate for each census tract is based on how household income compares to the national thresholds calculated by the Census Bureau. A census tract is designated as a Low-Income Community when 20 percent or more of households in the

tract fall below the poverty line (for their household size) or the median family income in the tract is below 80 percent of the statewide median income.

Q: What is a contiguous tract, and were those included in the nomination?

A: The tax bill allowed 5% of tract nominations to be tracts that did not meet the low-income designation but were contiguous, or next to, other tracts that did meet the criteria. Florida chose not to nominate contiguous tracts so that the areas with the most need could be designated.

Q: How were Opportunity Zones chosen to be nominated?

A: DEO's economists used a combination of data and project requests to determine the Zones. A statistical model was created using census tract data and other economic indicators, such as poverty level, unemployment rates and population density. DEO used a proportional method of nominating tracts so that every county received at least one census tract nomination. Finally, DEO incorporated into the model requests from city and county governments, regional planning councils, nonprofits, investors, developers and others.

Q: Why were some requests not included as an Opportunity Zone?

A: DEO received requests for more than 1,200 census tracts, which is more than the 427 the state can nominate. Feedback was incorporated as much as possible, and balanced with the economic analysis. For example, a request in an area with very low unemployment may not have been chosen.

Q: How do Florida communities benefit from the Opportunity Zone program?

A: Counties across Florida benefit from having another tool in their economic development toolbox. From rural communities to urban areas, this program will allow investors to strategically invest in targeted communities. This will build on each county's economic development plan, bringing more jobs and capital investment into every county across Florida.

Q: What are the next steps?

A: The U.S. Department of the Treasury has 30 days to certify that the nominated tracts meet the criteria in the law. The Internal Revenue Service intends to start a rulemaking process to designate Opportunity Funds to be eligible to invest in these zones. More information about this process can be found here:

<https://www.irs.gov/pub/irs-drop/rp-18-16.pdf>

<https://home.treasury.gov/news/press-release/sm0283>

<https://www.cdfifund.gov/Pages/Opportunity-Zones.aspx>

Bill Text: <https://www.congress.gov/115/bills/s293/BILLS-115s293is.pdf>

Q: What is Florida's role in the Opportunity Zone program moving forward?

A: The legislation provides Florida the ability to nominate census tracts for the designation of Opportunity Zones. Opportunity Funds and their investments will be private-sector driven. Once a zone is certified by the U.S. Department of the Treasury, local communities will promote their Opportunity Zones to qualified Opportunity Funds in order to secure investments and bring additional economic development to local businesses and families.

Q: What are Opportunity Funds?

A: Opportunity Funds will be designated through the U.S. Department of the Treasury and the Internal Revenue Service as eligible based on rulemaking that has not yet taken place. The Opportunity Funds must invest 90 percent of their fund in Opportunity Zones to receive the tax benefits, which will vary depending on the number of years the investment is held in the Zones.

Demographics, Labor/Workforce, and Consumer Expenditures

2170 Fruitville Rd, Sarasota, FL

Harshman & Company, Inc.
 COMMERCIAL REAL ESTATE BROKER



Disclaimer: While we believe this information (via GeoLytics) to be reliable, we have not checked its accuracy and make no guarantee as to its validity. By using the information provided on this page, the user acknowledges that the data may contain errors or other nonconformities. You and/or your client should diligently and independently verify the specifics of the information that you are using.

Population

Radius:	1 mile	3 miles	5 miles
2023 Projection	18,430	105,592	199,400
2018 Estimate	16,803	98,386	188,463
2015 Estimate	15,713	93,588	180,448
2010 Census	16,160	88,051	169,850
Growth 2018-2023	9.68%	7.32%	5.8%
Growth 2015-2018	6.94%	5.13%	4.44%
Growth 2010-2015	-2.77%	6.29%	6.24%

Population (Male)

Radius:	1 mile	3 miles	5 miles
2023 Projection	9,452	50,877	94,986
2018 Estimate	8,606	47,270	89,499
2015 Estimate	8,047	44,862	85,509
2010 Census	8,257	42,496	81,358
Growth 2018-2023	9.83%	7.63%	6.13%
Growth 2015-2018	6.95%	5.37%	4.67%
Growth 2010-2015	-2.54%	5.57%	5.1%

Population (Female)

Radius:	1 mile	3 miles	5 miles
2023 Projection	8,978	54,715	104,414
2018 Estimate	8,197	51,116	98,964
2015 Estimate	7,666	48,726	94,939
2010 Census	7,903	45,555	88,492
Growth 2018-2023	9.53%	7.04%	5.51%
Growth 2015-2018	6.93%	4.9%	4.24%
Growth 2010-2015	-3%	6.96%	7.29%

Population by Age (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Age 0 to 5	1,084	5,830	9,970	Age 0 to 5	6%	6%	5%
Age 5 to 10	995	5,340	9,273	Age 5 to 10	6%	5%	5%
Age 10 to 15	915	5,041	8,956	Age 10 to 15	5%	5%	5%
Age 15 to 20	803	4,771	8,656	Age 15 to 20	5%	5%	5%
Age 20 to 25	760	4,739	8,680	Age 20 to 25	5%	5%	5%
Age 25 to 30	836	4,907	8,908	Age 25 to 30	5%	5%	5%
Age 30 to 35	932	5,094	9,025	Age 30 to 35	6%	5%	5%
Age 35 to 40	1,070	5,360	9,300	Age 35 to 40	6%	5%	5%
Age 40 to 45	1,194	5,598	9,824	Age 40 to 45	7%	6%	5%
Age 45 to 50	1,264	5,910	10,782	Age 45 to 50	8%	6%	6%
Age 50 to 55	1,271	6,153	11,565	Age 50 to 55	8%	6%	6%
Age 55 to 60	1,212	6,269	12,102	Age 55 to 60	7%	6%	6%
Age 60 to 65	1,060	6,132	12,180	Age 60 to 65	6%	6%	6%
Age 65 and over	3,407	27,242	59,242	Age 65 and over	20%	28%	31%
Total Population	16,803	98,386	188,463				
Median Age	44.34	48.1	50.61				

Median Age (Male)

Radius:	1 mile	3 miles	5 miles
2010 Census	39.96	43.24	46.31

Median Age (Female)

Radius:	1 mile	3 miles	5 miles
2010 Census	43.51	46.74	49.34

High School Graduates Age 25+ by Educational Attainment (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
High School Graduate (or GED)	3,564	21,082	40,483	High School Graduate (or GED)	49%	44%	42%
Some College, No Degree	2,311	16,027	32,422	Some College, No Degree	32%	34%	34%
Associate or Bachelor's Degree	638	4,208	9,297	Associate or Bachelor's Degree	9%	9%	10%
Master's Degree	507	3,839	8,783	Master's Degree	7%	8%	9%
Professional School Degree	130	1,690	3,765	Professional School Degree	2%	4%	4%
Doctorate Degree	126	974	1,752	Doctorate Degree	2%	2%	2%
Total High School Graduates Age 25+	7,276	47,820	96,502				

Households

Radius:	1 mile	3 miles	5 miles
2023 Projection	7,744	46,164	89,791
2018 Estimate	7,077	43,342	85,491
2015 Estimate	6,625	41,428	82,233
2010 Census	7,141	39,137	77,680
Growth 2018-2023	9.42%	6.51%	5.03%
Growth 2015-2018	6.82%	4.62%	3.96%
Growth 2010-2015	-7.23%	5.85%	5.86%

Average Household Size

Radius:	1 mile	3 miles	5 miles
2023 Projection	2.16	2.23	2.19
2018 Estimate	2.16	2.23	2.19
2015 Estimate	2.14	2.21	2.18
2010 Census	2.09	2.2	2.17
Growth 2018-2023	-0.04%	0.03%	0%
Growth 2015-2018	0.77%	0.53%	0.45%
Growth 2010-2015	2.43%	0.45%	0.5%

Households by Household Type and Size and Presence of Children (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles			
Family Households	3,127	23,291	48,324	Family Households	<div></div>	44%	<div></div>	54%	<div></div>	57%
Married-couple family	1,867	15,620	35,445	Married-couple family	<div></div>	26%	<div></div>	36%	<div></div>	41%
With own children under 18 years	690	4,439	9,423	With own children under 18 years	<div></div>	10%	<div></div>	10%	<div></div>	11%
No own children under 18 years	1,177	11,181	26,022	No own children under 18 years	<div></div>	17%	<div></div>	26%	<div></div>	30%
Male Householder: no wife present	400	1,999	3,481	Male Householder: no wife present	<div></div>	6%	<div></div>	5%	<div></div>	4%
With own children under 18 years	176	888	1,616	With own children under 18 years	<div></div>	2%	<div></div>	2%	<div></div>	2%
No own children under 18 years	224	1,111	1,865	No own children under 18 years	<div></div>	3%	<div></div>	3%	<div></div>	2%
Female Householder: no husband present	860	5,672	9,398	Female Householder: no husband present	<div></div>	12%	<div></div>	13%	<div></div>	11%
With own children under 18 years	506	3,009	4,789	With own children under 18 years	<div></div>	7%	<div></div>	7%	<div></div>	6%
No own children under 18 years	354	2,663	4,609	No own children under 18 years	<div></div>	5%	<div></div>	6%	<div></div>	5%
Nonfamily Households	3,950	20,051	37,167	Nonfamily Households	<div></div>	56%	<div></div>	46%	<div></div>	43%
1 Person households	3,128	16,017	29,748	1 Person households	<div></div>	44%	<div></div>	37%	<div></div>	35%
2+ Unrelated people	822	4,034	7,419	2+ Unrelated people	<div></div>	12%	<div></div>	9%	<div></div>	9%
Total Households	7,077	43,342	85,491							

Households by Household Income (2018 Estimate)

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	2,276	12,352	20,402
\$25,000 to \$49,999	2,425	13,008	23,699
\$50,000 to \$74,999	1,358	7,855	16,352
\$75,000 to \$99,999	419	3,741	9,463
\$100,000 to \$124,999	207	2,575	6,060
\$125,000 to \$149,999	151	945	2,772
\$150,000 to \$199,999	87	1,358	3,125
\$200,000 or more	154	1,508	3,618
Total Households	7,077	43,342	85,491
Average Household Income	\$45,923.88	\$55,525.37	\$63,014.44
Median Household Income	\$35,752.68	\$45,771.68	\$52,500.94

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	32%	28%	24%
\$25,000 to \$49,999	34%	30%	28%
\$50,000 to \$74,999	19%	18%	19%
\$75,000 to \$99,999	6%	9%	11%
\$100,000 to \$124,999	3%	6%	7%
\$125,000 to \$149,999	2%	2%	3%
\$150,000 to \$199,999	1%	3%	4%
\$200,000 or more	2%	3%	4%

Households by Household Income (2023 Projection)

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	2,494	13,235	21,566
\$25,000 to \$49,999	2,662	13,938	25,034
\$50,000 to \$74,999	1,477	8,375	17,267
\$75,000 to \$99,999	456	3,966	9,927
\$100,000 to \$124,999	233	2,713	6,321
\$125,000 to \$149,999	166	995	2,827
\$150,000 to \$199,999	91	1,400	3,207
\$200,000 or more	165	1,542	3,642
Total Households	7,744	46,164	89,791
Average Household Income	\$45,183.22	\$55,599.71	\$63,096.02
Median Household Income	\$36,215.46	\$46,015	\$52,876.10

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	32%	29%	24%
\$25,000 to \$49,999	34%	30%	28%
\$50,000 to \$74,999	19%	18%	19%
\$75,000 to \$99,999	6%	9%	11%
\$100,000 to \$124,999	3%	6%	7%
\$125,000 to \$149,999	2%	2%	3%
\$150,000 to \$199,999	1%	3%	4%
\$200,000 or more	2%	3%	4%

Per Capita Income

Radius:	1 mile	3 miles	5 miles
2018 Estimate	\$19,880.77	\$25,202.75	\$29,168.18
2015 Estimate	\$20,003.88	\$25,443.74	\$29,450.71
Growth 2015-2018	-0.62%	-0.95%	-0.96%

Unemployment Rate

Radius:	1 mile	3 miles	5 miles
2018 Estimate	5.87%	4.49%	3.84%
2015 Estimate	13.45%	11.74%	9.09%
Growth 2015-2018	-56.38%	-61.71%	-57.73%

Population Age 16+ By Employment Status (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Labor Force	8,149	46,467	89,485	Labor Force	<div><div></div></div> 60%	<div><div></div></div> 57%	<div><div></div></div> 57%
Civilian, Employed	7,711	44,466	86,126	Civilian, Employed	<div><div></div></div> 57%	<div><div></div></div> 55%	<div><div></div></div> 54%
Civilian, Unemployed	438	2,001	3,359	Civilian, Unemployed	<div><div></div></div> 3%	<div><div></div></div> 2%	<div><div></div></div> 2%
Not in Labor Force	5,473	34,613	68,779	Not in Labor Force	<div><div></div></div> 40%	<div><div></div></div> 43%	<div><div></div></div> 43%
Total Population Age 16+	13,622	81,080	158,264				

Employed Civilian Population Age 16+ by Industry (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Agriculture, forestry, fishing and hunting, mining and construction	1,060	4,380	8,321	Agriculture, forestry, fishing and hunting, mining and construction	<div><div></div></div> 14%	<div><div></div></div> 10%	<div><div></div></div> 10%
Manufacturing	519	2,738	5,332	Manufacturing	<div><div></div></div> 7%	<div><div></div></div> 6%	<div><div></div></div> 6%
Wholesale & retail trade	1,270	7,067	13,565	Wholesale & retail trade	<div><div></div></div> 16%	<div><div></div></div> 16%	<div><div></div></div> 16%
Transportation and warehousing, and utilities	208	1,194	2,322	Transportation and warehousing, and utilities	<div><div></div></div> 3%	<div><div></div></div> 3%	<div><div></div></div> 3%
Information	163	878	1,629	Information	<div><div></div></div> 2%	<div><div></div></div> 2%	<div><div></div></div> 2%
Finance, insurance, real estate and rental and leasing	203	1,594	3,961	Finance, insurance, real estate and rental and leasing	<div><div></div></div> 3%	<div><div></div></div> 4%	<div><div></div></div> 5%
Professional, scientific, and technical services	796	5,016	10,438	Professional, scientific, and technical services	<div><div></div></div> 10%	<div><div></div></div> 11%	<div><div></div></div> 12%
Educational, health and social services	1,230	9,674	18,549	Educational, health and social services	<div><div></div></div> 16%	<div><div></div></div> 22%	<div><div></div></div> 22%
Arts, entertainment, recreation, accommodation and food services	1,530	6,329	11,026	Arts, entertainment, recreation, accommodation and food services	<div><div></div></div> 20%	<div><div></div></div> 14%	<div><div></div></div> 13%
Other services (except public administration)	554	4,266	8,221	Other services (except public administration)	<div><div></div></div> 7%	<div><div></div></div> 10%	<div><div></div></div> 10%
Public Administration	178	1,330	2,762	Public Administration	<div><div></div></div> 2%	<div><div></div></div> 3%	<div><div></div></div> 3%
Total Employed Civilian Population Age 16+	7,711	44,466	86,126				

Housing Units by Tenure (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Vacant Housing Units	1,133	9,788	21,744	Vacant Housing Units	<div><div></div></div> 14%	<div><div></div></div> 18%	<div><div></div></div> 20%
Occupied Housing Units	7,077	43,342	85,491	Occupied Housing Units	<div><div></div></div> 86%	<div><div></div></div> 82%	<div><div></div></div> 80%
Owner- Occupied	3,018	27,413	58,604	Owner- Occupied	<div><div></div></div> 37%	<div><div></div></div> 52%	<div><div></div></div> 55%
Renter- Occupied	4,059	15,929	26,887	Renter- Occupied	<div><div></div></div> 49%	<div><div></div></div> 30%	<div><div></div></div> 25%
Total Housing Units	8,210	53,130	107,235				