

Harshman & Company, Inc.
COMMERCIAL REAL ESTATE BROKER

For Sale

1565 State Street



Contact:

John B. Harshman, Broker

Phone: 941-951-2002 Fax: 941-366-5818

1575 Main St., Sarasota, FL 34236

Email: jbh@harshmanrealestate.com

www.harshmanrealestate.com

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IMPORTANT NOTICE

The information contained herein, while based upon data supplied by the seller and obtained from other sources deemed reliable, is subject to errors or omissions and is not, in any way, warranted by Harshman & Company, Inc. or by any agent, independent associate or employee of Harshman & Company.

Harshman & Company, Inc. (Broker) hereby notifies prospective buyers that it shall be the buyer's responsibility to verify any and all representations made by seller and/or Broker regarding the property, its condition, improvements, utilities, zoning, insurability, conformance and/or compliance with federal, state and local laws as well as all restrictions of any applicable owner's association, boundaries and use. Buyer recognizes that the Broker is not an expert in legal, tax, financial, appraising, surveying, structural conditions, hazardous materials, engineering or other areas.

Exclusive Right of Sale Listing

Harshman & Company, Inc. is the Exclusive Listing Agent for the subject property and is presenting this property to Qualified Principal Buyers with expertise in real estate investment and development. Buyers are excluded from Cooperating Broker fees.

Inquiries regarding the property described herein should be directed to:

John B. Harshman, Broker
Harshman & Company, Inc.
1575 Main St.
Sarasota, FL 34236

Phone: 941-951-2002
FAX: 941-366-5818
Email: jbh@harshmanrealestate.com

Property Summary

**Showings available only by appointment with Broker.
Do not disturb occupant.**

Owner:	Coastal Behavioral Healthcare Inc.
Address:	1565 State Street, Sarasota, FL 34236
Parcel ID#:	2027-03-0104
Location:	<p>The subject property is extremely well located in the heart of downtown Sarasota just west of Orange Avenue on the north side of State Street. Across State Street from the subject is the new 400 space municipal State Street Garage with notable businesses on the ground floor including Dimmitt's Sarasota Studio (luxury and exotic automobiles) Daily Bird, and Brick Smoked Meats. State Street is one of the most attractive streets in downtown Sarasota lined with galleries, boutique restaurants, fitness businesses, interior design studios and office. State Street terminates at Lemon Avenue and to the almost completed and SOLD OUT 142 unit residential condominium The Mark. Commercial businesses will also fill the ground and 2nd floor of The Mark by its 1st quarter 2020 completion.</p>
Leasing Market:	<p>Commercial storefront rents in the downtown Sarasota for remodeled space starts at about \$29 per square foot triple net and topping out at \$53 per square foot triple net. Vacancy is approximately 3%. (List of commercial rental rates available on request.)</p>
Opportunity:	<p>This is a tremendous opportunity for a creative developer to transform a office building with historic character into a trendy home for one or multiple businesses including office, retail or restaurant. The bones of this building are solid and the façade recalls a historic time when Sarasota's architecture carried a heavy Mediterranean influence. One possibility would be decoupling the buildings making one a home for your business and leasing the second building or selling it at a profit.</p>
Zoning:	<p>DTC – Downtown Core (City of Sarasota) entitles property with 50 residential units per acre and 10-stories, office, retail, hotel and restaurant.</p>

Residential Density: The subject site will permit 18 residential units

Land Size: 15,023 sq. ft. +/- Survey date 29 April 2002
15,750 sq. ft. Sarasota County Property Appraiser

Building Size: 12,655 gross square feet (per ADP plans)
8,701 gross square feet ground floor
3,954 gross square feet second floor

Year Built: 1926+/- and update 2002

Improvements: The subject is a free standing 2-story office building. Originally the property consisted of two separate structures that were internally connected in 1971 and have subsequently been improved as one structure.

Parking: There are 15 on-site parking spaces and the State Street garage offers the first 2 hours parking at no charge with monthly employee passes purchased for \$20.

Primary Streets: State Street is not designated "Primary" which alleviates the site of cumbersome development and design restrictions.

Environmental: Phase I and limited Phase II commissioned by the City of Sarasota is available upon request.

Year Built: 1989 (effective year built per Sarasota County)

Utilities: City of Sarasota Water/Sewer

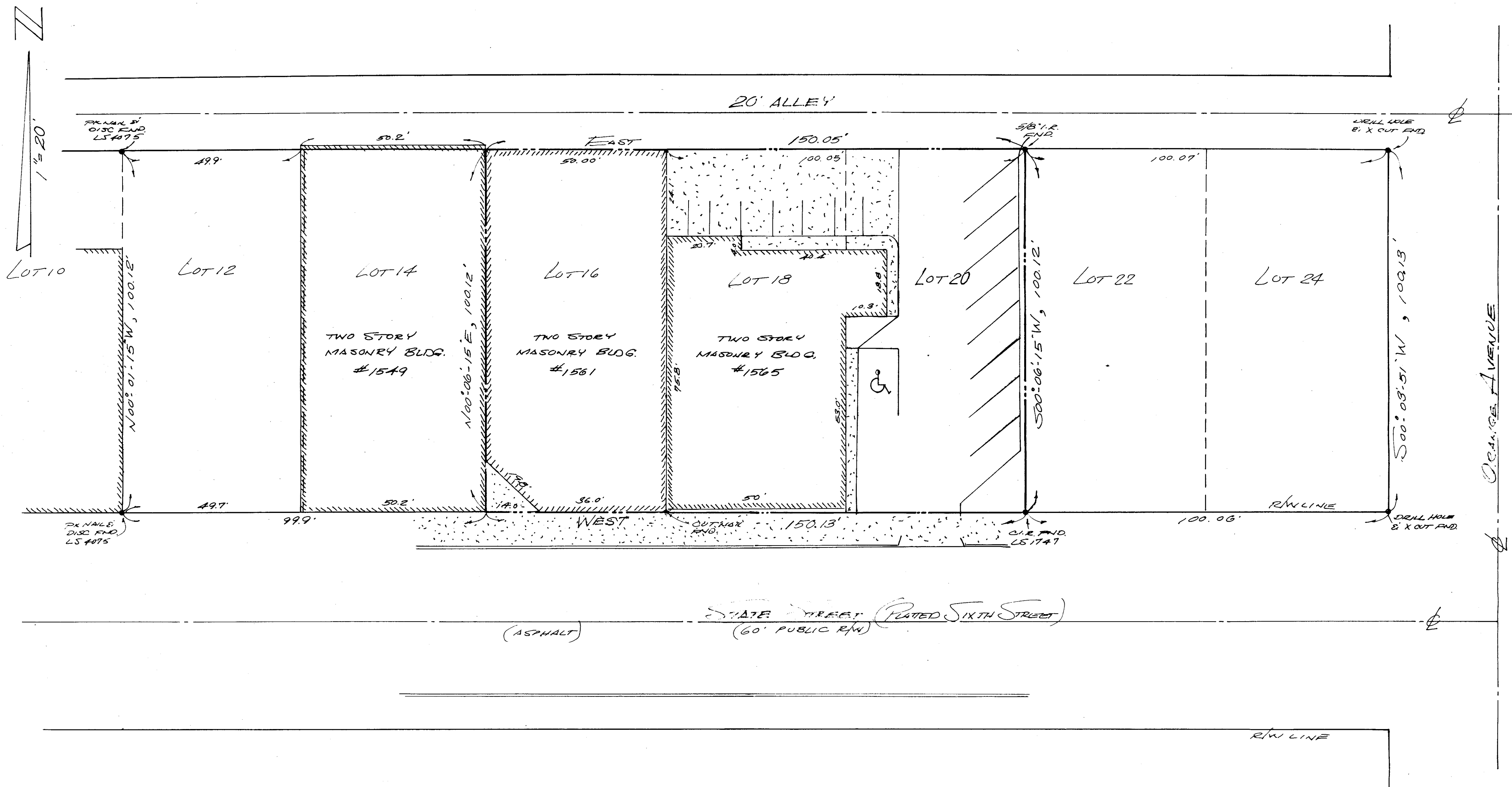
Taxes: \$2,786.01 tax year 2018

Price: **\$2,700,000**



A horizontal number line with tick marks at 0, 0.1, and 0.2. The unit 'mi' is written at the right end of the line.

*This map is a product of the Sarasota County Property Appraiser's Office.
No warranties are expressed or implied.*



LEGEND:

CIR = CAPPED IRON ROD
 IR = IRON ROD
 CL = CENTERLINE
 RW = RIGHT-OF-WAY
 L.S. = LICENSED SURVEYOR
 FND = FOUND

1. BOUNDARY CORNERS OF LOTS 16, 18 AND 20, BLOCK 5, PLAT OF SARASOTA RECORDED IN PLAT BOOK A, PAGE 30, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.

2. SURVEYED LOCALS
 A BEARING OF DUE WEST WAS USED FOR THE R/W LINE OF STATE STREET AND IS THE BEARING BASIS OF THIS SURVEY.

CERTIFICATION CHANGED: 29 APRIL 2002

7/29/99 - SURVEY REVISED & RE-CERTIFIED

NOTE: EASEMENTS AND RIGHT OF WAYS WERE NOT ABSTRACTED AS PART OF THIS SURVEY EXCEPT AS NOTED.

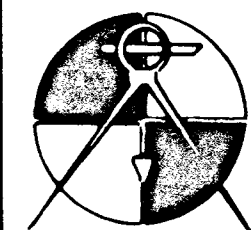
SURVEYOR'S CERTIFICATE

PROVIDENT BANK/SYLVA J. TAYLOR, P.A./

I HEREBY CERTIFY TO COASTAL BEHAVIORAL HEALTHCARE, INC./FIDELITY NATIONAL TITLE INSURANCE CO. OF YORK/ THAT THIS RECORD OF SURVEY REPRESENTS A FIELD SURVEY OF THE PROPERTY SHOWN AND DESCRIBED HEREON, THAT THE SURVEY WAS RECENTLY PERFORMED UNDER MY DIRECTION, THAT IT IS TRUE AND CORRECT, AND THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA (CHAPTER 61G17, F.A.C. EFFECTIVE OCTOBER, 1993. VISIBLE ENCROACHMENTS, IF ANY, ARE AS SHOWN.

NOTE:
 THIS SURVEY IS ONLY VALID
 SIGNED IN INK WITH SEAL.

THOMAS E. ROBINSON P.S.M. NO. 4075



ROBINSON LAND SURVEYING, INC.

(941) 954-4473 FAX (941) 957-3416
 1960 MAIN ST., SARASOTA, FLA. 34236

FOR: MURRAY J. KLAUBER

SCALE: 1" = 20'

JOB NO.: 44-3689

DATE: 7/15/99

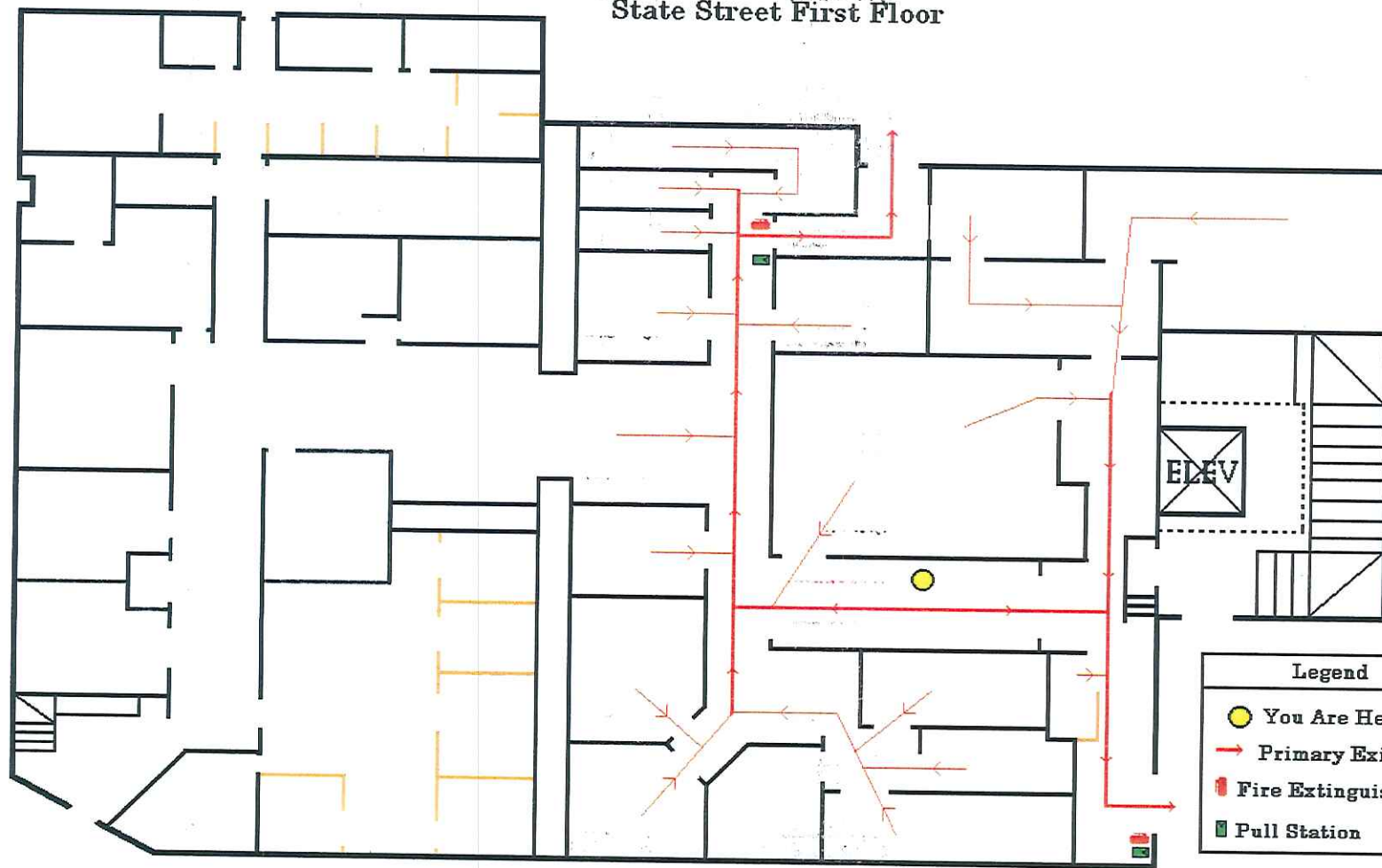
COMP. FILE: -





DRW BY: RM

CK BY: TR

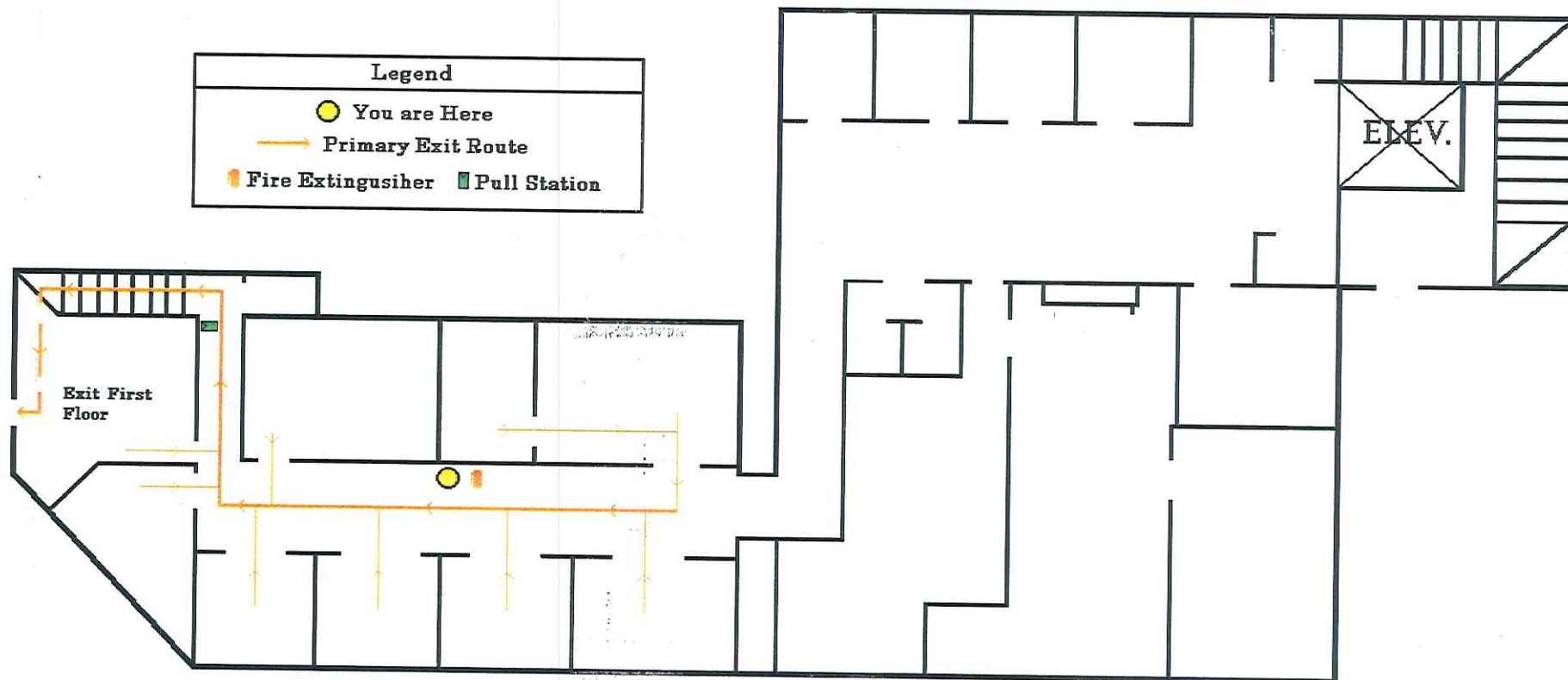
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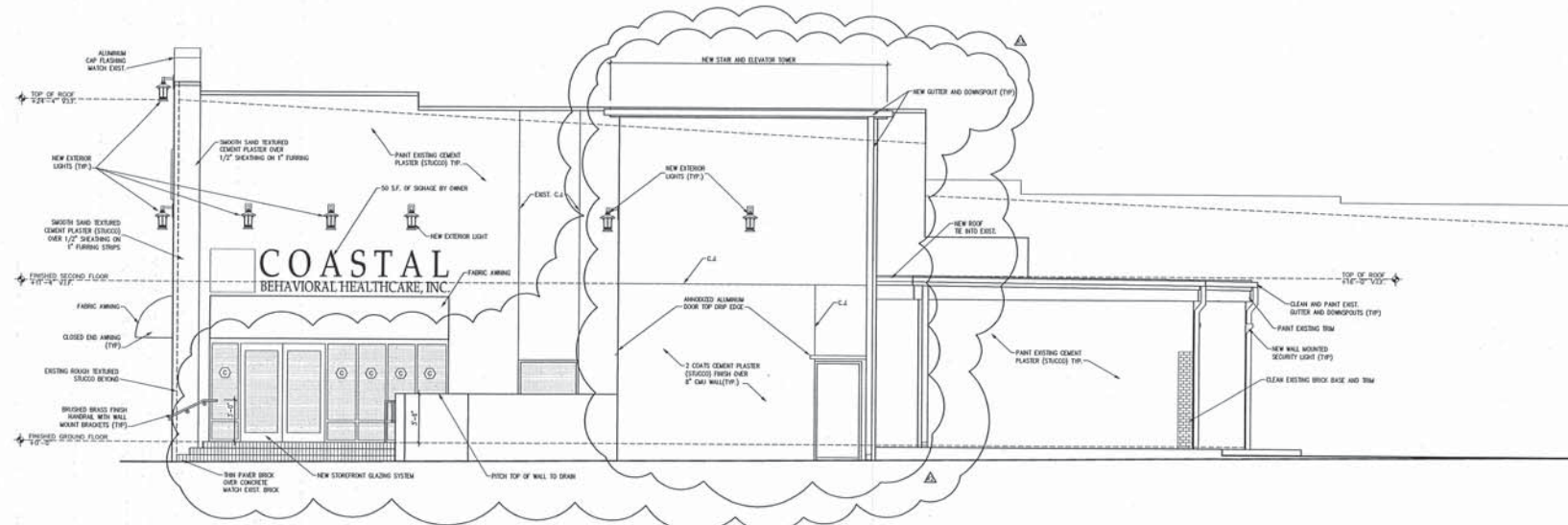
State Street First Floor



Legend	
	You Are Here
	Primary Exit Route
	Fire Extinguisher
	Pull Station

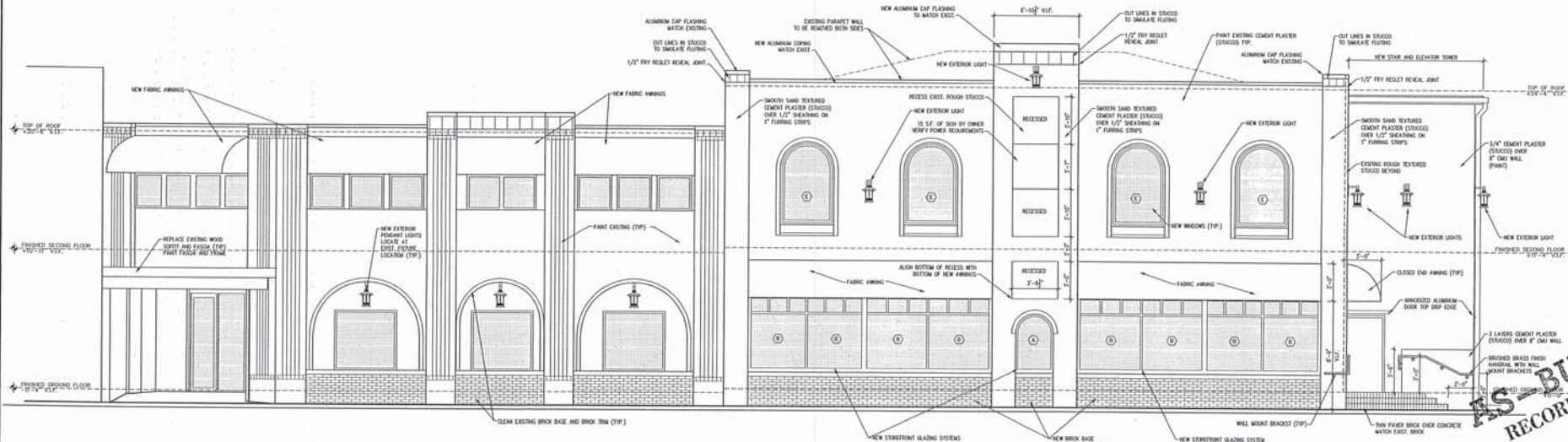
State Street Second Floor





EAST ELEVATION
1/4"=1'-0"

3



SOUTH ELEVATION
1/4"=1'-0"

1

DATE	DESCRIPTION
10/20/02	PERMIT
10/20/02	CODE COMMENTS
10/20/02	REVISION
10/20/02	REVISION
10/20/02	REVISION
10/20/02	REVISION
10/20/02	REVISION

CONSULTANT

THE ADP GROUP
Architects • Design • Planning
1400 OCEAN DRIVE, SUITE 100, PALM BEACH, FLORIDA 33480
TELEPHONE (407) 851-1400 FACSIMILE (407) 851-1400
LICENSURE NO. 0000079



SEAL

**COASTAL BEHAVIORAL
HEALTHCARE, INC.
OFFICE BUILDING**
1551-1555 STATE STREET
SARASOTA, FLORIDA

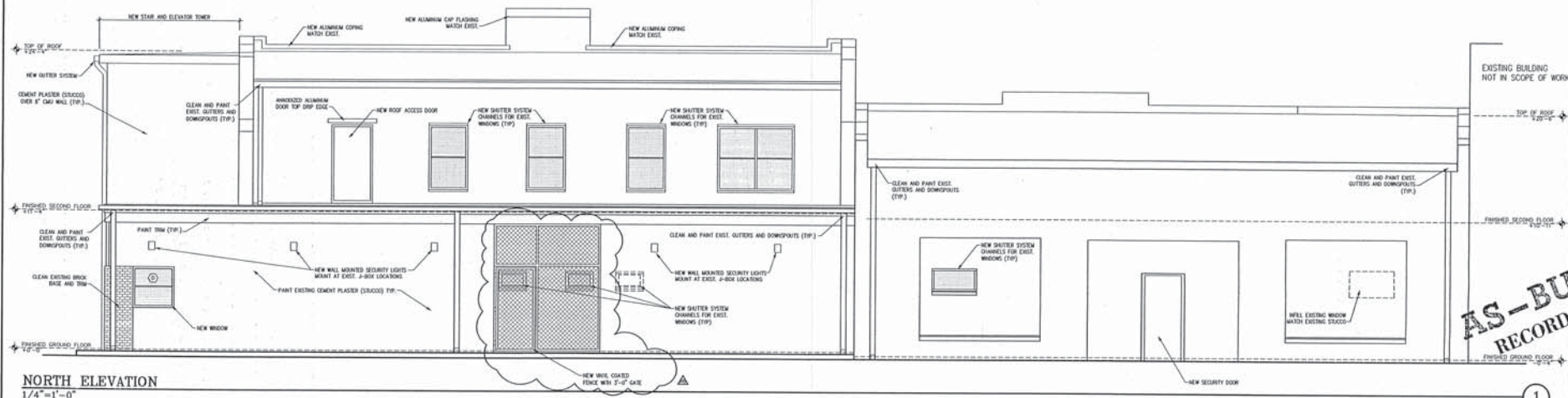
**AS-BUILT
RECORD SET**

SHEET TITLE
ELEVATIONS
SHEET NO.
A3.1

TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 503 AND 503.01 OF FLORIDA BUILDING CODE, 2002 EDITION. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN.

NOTES:

1. INFILL REMOVED WINDOWS WITH CONCRETE MASONRY UNITS. FINISH TO MATCH EXISTING
2. EXTERIOR PAINT COLORS AND PATTERNS TO BE SELECTED
3. CLEAN BRICK WITH SOLUTION THAT WILL NOT DISCOLOR, ETCH OR DAMAGE THE BRICK OR MORTAR
4. CLEAN, REPAIR AND PAINT EXISTING GUTTERS AND DOWNSPOUTS.
5. REMOVE ALL ABANDONED PIPING, CONDUITS, WIRING, ETC.
6. PATCH, REPAIR, SEAL AND PAINT ALL EXISTING PENETRATIONS
7. REMOVE ALL VEGETATION FROM PARKING AREAS, SIDEWALKS, ALLEYS, ROOF, GUTTERS, AND AROUND BUILDING
8. REMOVE ALL EXISTING SIGNAGE ON AND AROUND BUILDING
9. SALVAGE EXISTING GAS LIGHT FIXTURES AND RETURN TO OWNER
10. CONTRACTOR TO EXAMINE WATERPROOFING IN PLANTER AT SOUTHWEST FACADE
 - PROVIDE WEEP HOLES THROUGH BRICK IF NOT PROVIDED
 - PROVIDE NEW WATERPROOFING AND PROTECTION MEMBRANE
 - BACKFILL WITH TOP SOIL



DATES	
PERMIT	8/20/02
CODE COMMENTS	8/13/02
REVISION	8/20/02
REVISION	11/26/02
REVISION	11/22/02
REVISION	11/26/02
REVISION	12/06/02

CONSULTANT	
THE ADP GROUP Architecture • Design • Planning 149 COGASKEY AVENUE, SARASOTA, FLORIDA 34236 TELEPHONE (941) 557-1455 FAX (941) 554-7959 LICENSE #A 0002875	

SEAL	
COASTAL BEHAVIORAL HEALTHCARE, INC. OFFICE BUILDING 1951-1955 STATE STREET SARASOTA, FLORIDA	

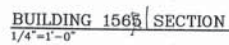
SHEET TITLE	
NORTH ELEVATION AND NOTES	

SHEET NO.	
A3.2	

TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAW OF FLORIDA.

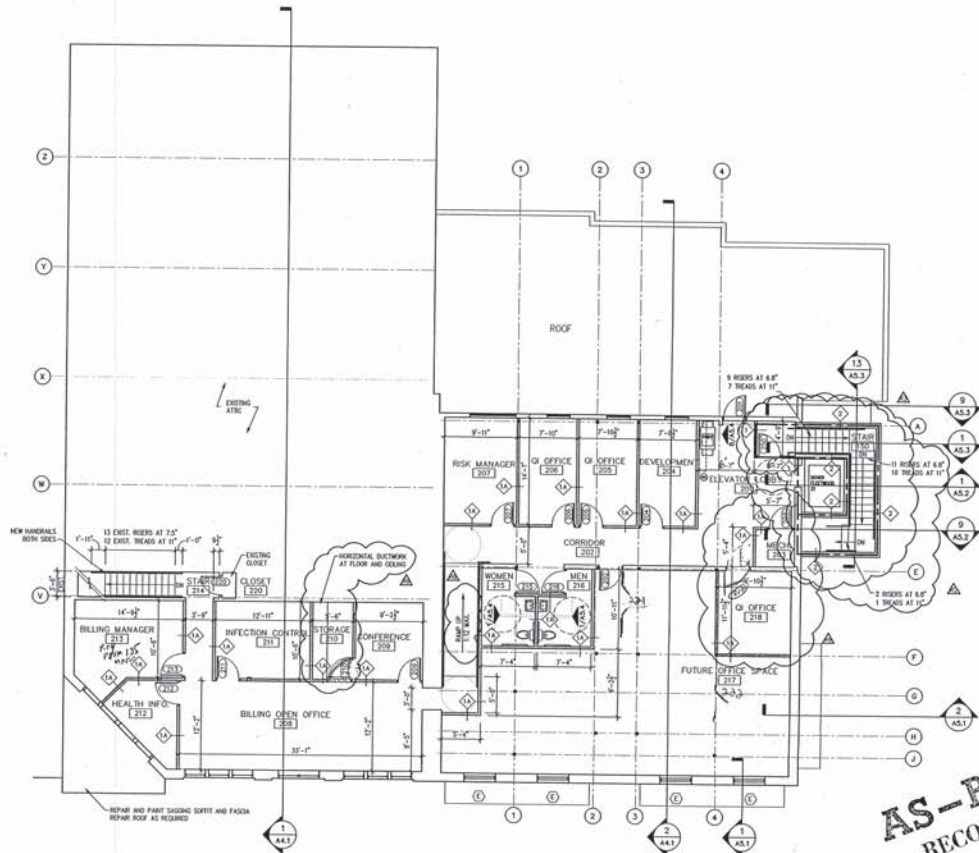
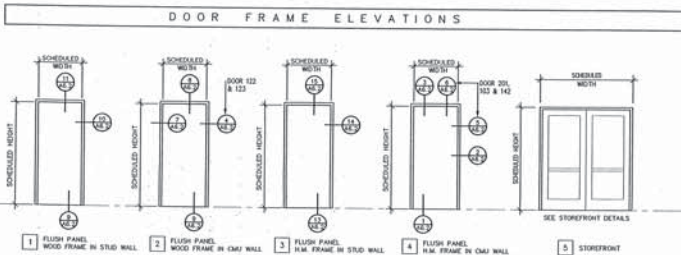
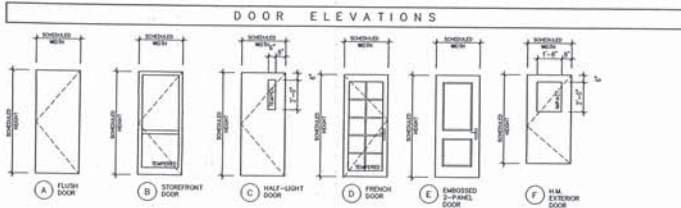
DO NOT SCALE DRAWING

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SHEET No. **A4.1**

DOOR AND FRAME SCHEDULE											
NUMBER	TYPE	DOOR			FRAME			FIRE RATING LABEL	REMARKS		
		WIDTH	HEIGHT	THICKNESS	MAT.	FINISH	TYPE			MAT.	FINISH
101	B	6'-0"	7'-0"	1-1/2"	ALUM	AND	5	ALUM	AND	---	EXT DEVICE PUSH BAR AND ROLL
103	A	5'-0"	7'-0"	1-1/2"	FM	PT	4	FM	PT	45 MIN	
104A	D	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
106B	D	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
106	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	
107	E	5'-0"	7'-0"	1-1/2"	MD	PT	2	MD	PT	---	
108	D	5'-0"	7'-0"	1-1/2"	MD	PT	2	MD	PT	---	
109	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	SEE INTERIOR WINDOW ELEVATIONS
111	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	
113	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	
114	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	
115	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
116	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
117	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
118	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
119	D	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
121	E	5'-0"	7'-0"	1-1/2"	MD	PT	2	MD	PT	---	
122	E	5'-0"	7'-0"	1-1/2"	MD	PT	2	MD	PT	---	
123	E	5'-0"	7'-0"	1-1/2"	MD	PT	2	MD	PT	---	
126	C	5'-0"	7'-0"	1-1/2"	FM	PT	3	FM	PT	---	
128	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
129	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
130	D	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
131	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
132	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
133	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
134	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
135	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
137	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
138	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
140	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
141	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
142	A	5'-0"	7'-0"	1-1/2"	FM	PT	4	FM	PT	---	EXTERIOR DOOR WITH SECURITY RATED FOR WIND BORNE DEBRIS
143	C	5'-0"	7'-0"	1-1/2"	FM	PT	3	FM	PT	---	SECURITY AND UNDERCUT
144	E	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
145	E	5'-0"	7'-0"	1-1/2"	MD/L	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
146	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
148	A	5'-0"	6'-6"	1-1/2"	FM	PT	4	FM	PT	45 MIN	RATED FOR WIND BORNE DEBRIS
150	A	5'-0"	7'-0"	1-1/2"	FM	PT	4	FM	PT	45 MIN	RATED FOR WIND BORNE DEBRIS
200	F	5'-0"	6'-6"	1-1/2"	MD	PT	4	FM	PT	---	ROOF ACCESS WITH SECURITY RATED FOR WIND BORNE DEBRIS
202	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
203	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
204	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
205	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
206	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
207	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
208	D	5'-0"	6'-6"	1-1/2"	MD	PT	1	MD	PT	---	
210	D	5'-0"	6'-6"	1-1/2"	MD	PT	1	MD	PT	---	
211	D	5'-0"	6'-6"	1-1/2"	MD	PT	1	MD	PT	---	
212	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
213	E	5'-0"	6'-6"	1-1/2"	MD	PT	1	MD	PT	---	UNDERCUT SEE MECH. ENG.
215	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
216	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
218	E	5'-0"	7'-0"	1-1/2"	MD	PT	1	MD	PT	---	
220	E	5'-0"	6'-6"	1-1/2"	MD	PT	1	MD	PT	---	
222	A	5'-0"	7'-0"	1-1/2"	FM	PT	3	FM	PT	45 MIN	



SECOND FLOOR PLAN

1/8"=1'-0"

DATES	
PERMIT	8/30/02
CODE COMMENTS	8/31/02
REVISION	9/20/02
REVISION	11/08/02
REVISION	11/22/02
REVISION	11/28/02
REVISION	12/08/02

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LICENSE # A-002875

SEAL

COASTAL BEHAVIORAL
HEALTHCARE, INC.
OFFICE BUILDING
1951-1965 STATE STREET
SAN ANTONIO, TEXAS 78204

PROJECT NO.	430000
DESIGN NO.	200
CONTRACT NO.	1001-PL-01-01
SHEET NO.	

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DO NOT SCALE DRAWING

AS-BUILT
RECORD

SHEET TITLE
SECOND FLOOR
PLAN AND
DETAILS

A2.2

ELEVATOR SHUT-DOWN NOTES:

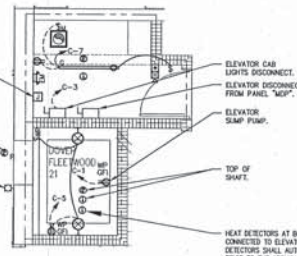
1. ELEVATOR SHUT-DOWN RELAY IN NEMA-1 ENCLOSURE WITH 120V A.C. COIL AND ONE N.O. CONTACT RATED AT 1 AMP. (SQUARE "D" TYPE "C" RELAY # 85000000 WITH 20 VA COIL DRAWN OR LESS). CONNECT POWER TO ELEVATOR MAIN POWER SHUNT-TOP THROUGH CONTACTS IN RELAY.
2. ELEVATOR SMOKE RELAY IN NEMA-1 ENCLOSURE WITH 120V A.C. COIL AND TWO N.O. CONTACTS RATED AT 1 AMP. SIMILAR TO SQUARE "D" TYPE "C" RELAY # 85000000 WITH 20 VA COIL DRAWN OR LESS. CONNECT SIGNAL FROM ELEVATOR CONTROLLER THROUGH ONE CONTACT TO SEND THE ELEVATOR INTO A PHASE 1 RECALL.
3. ELEVATOR MACHINE ROOM AND HOSTNAY SMOKE DETECTORS SHALL EACH HAVE ONE SET OF N.O. AUXILIARY CONTACTS RATED FOR MIN. 1 AMP AT 120V. THESE CONTACTS WILL CONTROL POWER TO THE COIL OF THE ELEVATOR SMOKE RELAY. THESE SMOKE DETECTORS SHALL BE CONNECTED TO THE SAME F.A. ZONE AS THE LOBBY SMOKE DETECTORS.
4. ELEVATOR MACHINE ROOM, HOSTNAY, AND PIT HEAT DETECTOR SHALL BE A 135 DEGREE F FROD TEMPERATURE UNIT WITH ONE SET OF N.O. AUXILIARY CONTACTS RATED FOR MIN. 1 AMP AT 120V. THESE CONTACTS WILL CONTROL POWER TO THE COIL OF THE ELEVATOR SHUT-DOWN RELAY. THESE DETECTORS SHALL BE LOCATED NEXT TO THE SPINNER HEAD AND CONNECTED TO THE SAME F.A. ZONE AS THE OTHER DETECTORS ASSOCIATED WITH THE ELEVATOR(S) REQUIRED BY AHJ.
5. PROVIDE A RED WARNING LIGHT (MIN. 1/8" DIA.) LOCATED ABOVE THE ELEVATOR CALL BUTTONS ON THE FLOOR OF EGRESS. PROVIDE AN ENGRAVED LABEL "DO NOT USE ELEVATOR WHEN UT" LOCATED ABOVE LAMP. WARNING LIGHT WILL BE CONTROLLED BY THE ELEVATOR SMOKE RELAY.
6. PROVIDE 50 VA CONTROL TRANSFORMER WITH FUSE BLOCK IN NEMA 1 ENCLOSURE. PRIMARY VOLTAGE TO MATCH ELEVATOR, 120V SECONDARY VOLTAGE, SIMILAR TO SQUARE "D" # 907005001. PRIMARY FUSES AT 1/8 AMP SECONDARY FUSES AT 1 AMP.
7. WIRING SHALL BE MIN. #12 COPPER WIRE IN 3/4" CONDUIT.

NOTE - ELEVATOR SHAFT AND MACHINE ROOM LAYOUT IS SCHEMATIC. COORDINATE FULLY WITH ELEVATOR SHOP DRAWINGS AND ELEVATOR CONTRACTOR REQUIREMENTS AND ADJUST SIZES AND LOCATIONS AS NEEDED.

J-BOX FOR TELEPHONE SERVICE FROM TELEPHONE BACKBOARD. EXTENDED TELEPHONE SERVICE TO ELEVATOR CAB.

LOBBY SMOKE DETECTORS FOR ELEVATOR RECALL FUNCTIONS.

WARNING LIGHT SHALL BE ACTIVATED BY ELEVATOR EQUIPMENT ROOM SMOKE DETECTOR LOCATED NEXT TO WARNING LIGHT (OR INCORPORATE INTO). A WARNING SIGN WITH THE FOLLOWING WORDS "DO NOT USE ELEVATOR" LETTERS SHALL BE A MINIMUM OF 1/8 INCH. (TYPICAL ALL FLOORS) THE ELEVATOR EQUIPMENT ROOM SMOKE DETECTOR AND WARNING LIGHT SHALL NOT BE CONTROLLED TO BE PART OF THE ELEVATOR CONTROL SYSTEM. (TYPICAL ALL LOBBIES)

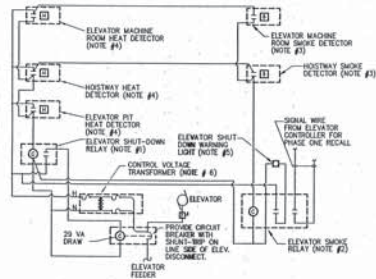


TYPICAL TELEPHONE/DATA OUTLET DETAIL

SCALE: NONE

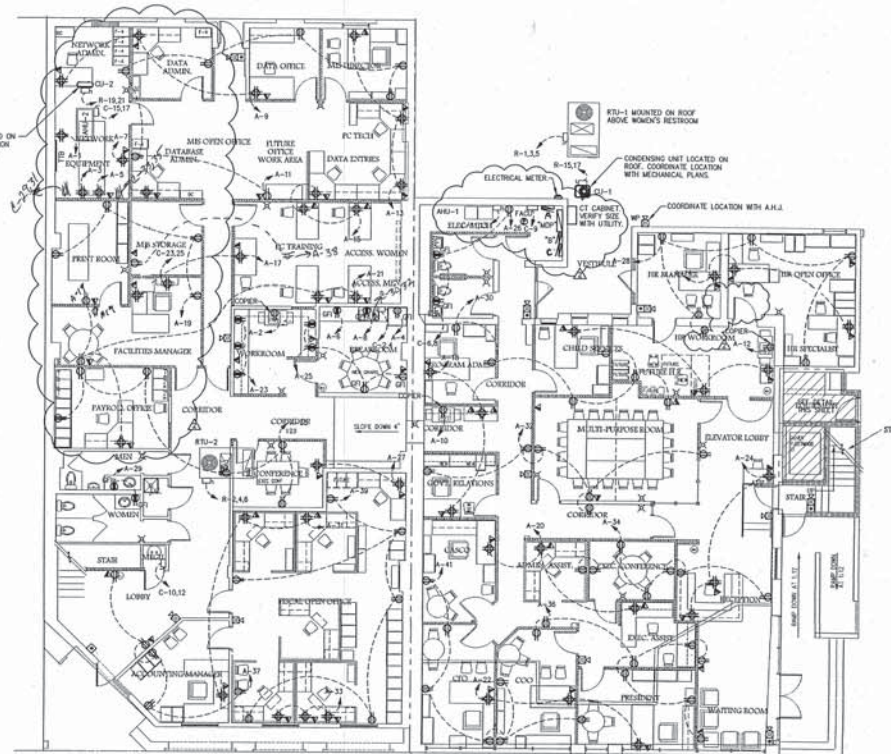
ELEVATOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



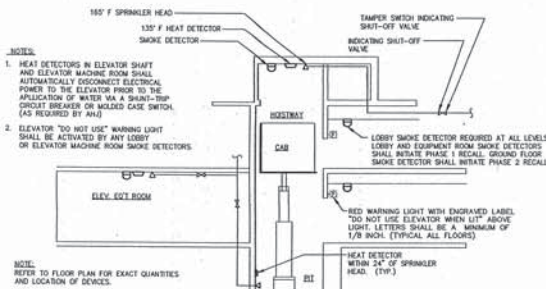
ELEVATOR SHUT-DOWN DIAGRAM

NOT TO SCALE



FIRST FLOOR ELECTRICAL POWER PLAN

SCALE: 1/8" = 1'-0"



ELEVATOR FIRE PROTECTION DETAIL

NOT TO SCALE

DATES	
CONS DOCUMENTS	08/09/02
PERMIT ISSUE	08/27/02
PLUMB DEPT COMM	12/11/02
ARCHITECT REV	01/03/03
CONSULTANT	
Engineering	
1951 Northway Blvd., Suite 100, Sarasota, FL 34237	
Tel: 941-552-8888	
Fax: 941-552-8889	
Robert L. Starnitzki, P.E.	
Professional Engineer No. 0046259	

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WWW.ADPGROUP.COM	
LICENSE #A 000370	

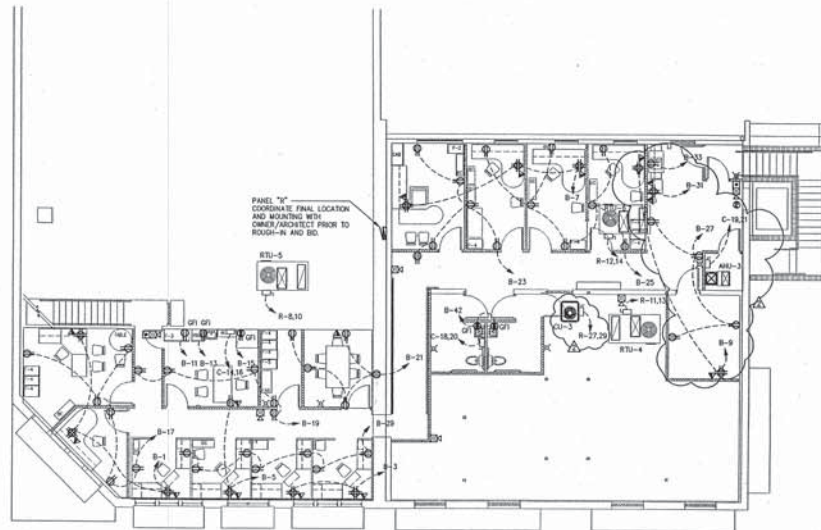
COASTAL BEHAVIORAL HEALTHCARE, INC. OFFICES	
1501-1505 STATE STREET	
SARASOTA, FLORIDA	

AS-BUILT
RECORD SET

PROJECT NO.	1207
DESIGN BY	TJM
SHEET TITLE	0501.1-2-04 POWER FIRST FLOOR PLAN
SHEET No.	1
E-2	

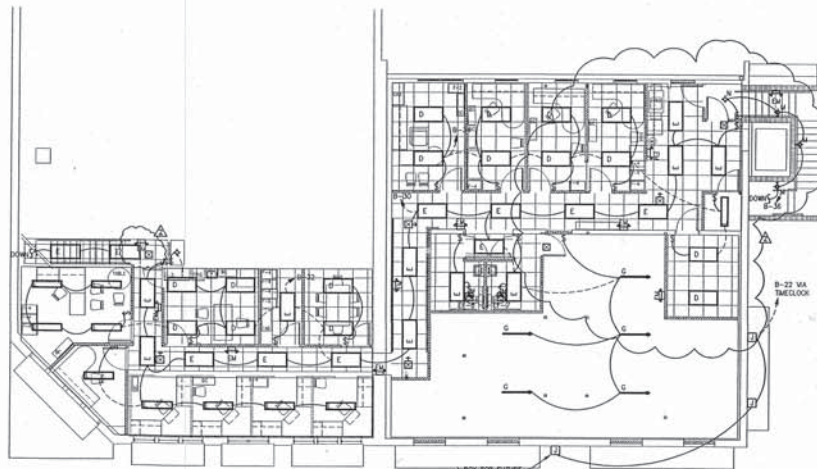
ELECTRICAL NOTES

1. DRAWINGS ARE DIAGNOSTIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DRAWINGS ARE NOT TO BE SCALED. THE DRAWINGS AND DETAILS WILL BE EXAMINED FOR EXACT LOCATION OF FIXTURES AND EQUIPMENT. ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS BUT NOT IN THE SPECIFICATIONS WILL BE INTERPRETED AS BEING IN BOTH. CONFLICTS WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER OR ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. THE ELECTRICAL CONTRACTOR TO FURNISH ALL EQUIPMENT, MATERIAL, LABOR, ETC. NECESSARY TO PROVIDE A COMPLETE, WORKABLE AND CODE APPROVED ELECTRICAL POWER DISTRIBUTION SYSTEM. ALL WORK TO BE DONE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, LOCAL, STATE AND NATIONAL CODES.
3. THE ELECTRICAL CONTRACTOR WILL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS AND PAY ALL GOVERNMENT FEES, SALES TAXES AND OTHER COSTS IN CONNECTION WITH HIS WORK. FILE ALL NECESSARY APPROVALS OF ALL GOVERNMENTAL DEPARTMENTS HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION FOR HIS WORK, AND DELIVER TO THE GENERAL CONTRACTOR THE SAME CERTIFICATES BEFORE REQUEST FOR ACCEPTANCE AND FINAL PAYMENT FOR THE WORK.
4. THE ELECTRICAL CONTRACTOR (E.C.) WILL GIVE FULL COOPERATION TO OTHER TRADES AND WILL FURNISH IN WRITING TO THE GENERAL CONTRACTOR, ANY INFORMATION NECESSARY TO PERMIT THE WORK OF ALL TRADES TO BE INSTALLED SATISFACTORILY AND WITH THE LEAST POSSIBLE INTERFERENCE OR DELAY. THE E.C. MUST COORDINATE ALL CONDUIT RUNS AND EQUIPMENT MOUNTING LOCATIONS WITH OTHER TRADES PRIOR TO ROUGH-IN.
5. THE ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL ELECTRICAL AS SHOWN, VERIFYING ALL MOUNTING HEIGHTS AND EXACT LOCATIONS OF ALL WALL-MOUNTED ELECTRICAL DEVICES WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN. IN THE EVENT OF A CODE CONFLICT, THE CONTRACTOR WILL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO COMMENCING THE WORK.
6. ALL SPARE CONDUITS TO BE INSTALLED FOR FUTURE USE WILL BE CAPED WITH PULL WIRE INSTALLED UNDERGROUND SPARE CONDUITS WILL BE STUBBED UP 12" A.F.F. WHERE INDICATED AND CAPED WITH PULL WIRE. ALL CAPED CONDUIT WILL BE LABELED WITH ITS PURPOSE.
7. THE ELECTRICAL CONTRACTOR WILL PROVIDE A COMPLETE GROUNDING SYSTEM FOR APPLICABLE SECTIONS OF THE N.E.C. BOND SERVICE ENTRANCE GROUND TO BUILDING STEEL, METAL WATER MAINS, MADE ELECTRODES, ETC. AS NECESSARY.
8. ALL PANELBOARDS TO HAVE ONLY COPPER BUSING. ALL EXTERIOR PANELBOARDS TO BE RAIN-PROOF TYPE NEMA 3R. ALL DISCONNECTS TO BE GENERAL DUTY TYPE, ALL EXTERIOR DISCONNECTS TO BE RAIN-PROOF TYPE NEMA 3R. ALL CIRCUIT BREAKERS TO BE 20A MINIMUM OR AS SHOWN ON THE PANEL SCHEDULES. ALL INTERIOR POWER/LIGHTING CIRCUITS TO BE 2-#12, 1-#10 E. IN MINIMUM 1/2" C. W/ANALOG 30K FILL, UNLESS SHOWN OTHERWISE ON THE PLANS. INTERIOR HOSE BOND TO BE A MINIMUM OF 3/4" C. W/ANALOG 40K FILL. ALL EXTERIOR LIGHTING CIRCUITS TO BE A MINIMUM OF 2-#8 W/100 TO THE FIRST JUNCTION BOX OR LIGHT FIXTURE AND 2-#10 W/100 TO THE REMAINING FIXTURES OR AS INDICATED ON PLANS. ALL UNDERGROUND CONDUIT TO BE A MINIMUM OF 1".
9. ELECTRICAL CONTRACTOR TO SUPPLY ALL REQUIRED DISCONNECTS AND WIRE ALL EXHAUST FANS, AIR HANDLER UNITS, AND CONDENSING UNITS, ETC. PROVIDED BY THE MECHANICAL CONTRACTOR. E.C. WILL VERIFY NAMEPLATE RATINGS OF ALL MECHANICAL EQUIPMENT PRIOR TO ROUGH-IN. E.C. TO PROVIDE DISCONNECTS AND CIRCUIT BREAKERS FOR NAMEPLATE RATINGS. THE E.C. WILL NOTIFY THE ARCHITECT/ENGINEER OF ANY CHANGES REQUIRED TO CIRCULATING PRIOR TO COMMENCING THE WORK.
10. ELECTRICAL CONTRACTOR WILL CONTACT LOCAL ELECTRICAL UTILITY AND COORDINATE EXACT LOCATION OF ELECTRICAL SERVICE SOURCE, COORDINATE USE OF HAND HOLE / UTILITY POLE / PAD MOUNT TRANSFORMER PRIOR TO BID AND/OR ROUGH-IN.
11. MOTOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER OPERATION AND CONSISTENT WITH GOOD WORKMANSHIP, WILL BE INCLUDED IN THE ESTIMATE, THE SAME AS IF SHOWN ON DRAWINGS.
12. THE ELECTRICAL CONTRACTOR SHALL PROPERLY AND PERMANENTLY IDENTIFY ALL BOXES, ENCLOSURES, ETC. FOR EMERGENCY CIRCUITS IN ACCORDANCE WITH NEC 700-9. LABEL ALL PANEL CIRCUITS TO IDENTIFY UNIT EQUIPMENT CONNECTED IN ACCORDANCE WITH NEC 700-12(C).
13. ELEVATOR SIZE IS BASED ON A 20 HORSEPOWER MOTOR. ELECTRICAL CONTRACTOR WILL VERIFY WITH ELEVATOR MANUFACTURER FOR EXACT SIZE OF ELEVATOR PRIOR TO BID. E.C. TO PROVIDE CIRCUIT BREAKER AND DISCONNECT SIZES RECOMMENDED BY ELEVATOR SHOP DRAWINGS. THE ELEVATOR CIRCUIT BREAKER WILL BE SHUNT-Trip. E.C. WILL NOTIFY ARCHITECT/ENGINEER OF MOTOR SIZE CHANGES PRIOR TO COMMENCING THE WORK.
14. ALL FIRE ALARM WIRING TO BE SOLID COPPER CONDUCTOR OF THE MINIMUM SIZE RECOMMENDED BY THE FIRE ALARM SYSTEM MANUFACTURER AND INSTALLED IN CONDUIT. ALL WIRING TO BE COLOR COORDINATED AND PROPERLY IDENTIFIED. INSTALLATION WILL BE BY A STATE LICENSED AND APPROVED INSTALLER AND COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
15. FIRE ALARM PLANS ARE DIAGNOSTIC AND INDICATE THE GENERAL ARRANGEMENT OF THE FIRE ALARM SYSTEM. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SHOP DRAWINGS IN ACCORDANCE WITH ALL APPLICABLE CODES AND SHALL INCLUDE, BUT NOT BE LIMITED TO, POINT TO POINT WIRING DIAGRAM, WIRING SCHEDULE, BATTERY CALCULATIONS AND BATTERY INSTALLATION DETAILS. PROVIDE DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA. AS REQUIRED CONTRACTOR SHALL PROVIDE ADDITIONAL ITEMS AS REQUIRED FOR A COMPLETE AND CODE COMPLYING INSTALLATION.



SECOND FLOOR ELECTRICAL POWER PLAN

SCALE 1/8" = 1'-0"



SECOND FLOOR ELECTRICAL LIGHTING PLAN

SCALE 1/8" = 1'-0"



AS-BUILT
RECORD SET

DATE	DESCRIPTION
06/09/02	CONS DOCUMENTS
06/27/02	PERMIT ISSUE
06/27/02	ALD/DEPT CONM
01/03/03	ARCHITECT REV
01/03/03	CONSULTANT

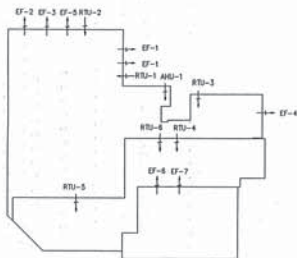
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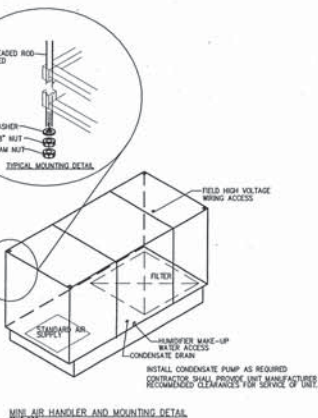
**COASTAL BEHAVIORAL
HEALTHCARE, INC.
OFFICES**
1601-1603 STATE STREET
SARASOTA, FLORIDA

PROJECT NO.	1001
DRAWN BY	1111M
SHEET TITLE	SECOND FLOOR ELECTRICAL PLANS
SHEET NO.	E-3



AIR BALANCE DIAGRAM

RTU-1	150 CFM	RTU-1	90 CFM x 2
RTU-2	300 CFM	RTU-2	120 CFM
RTU-3	200 CFM	RTU-3	150 CFM
RTU-4	150 CFM	RTU-4	110 CFM
RTU-5	200 CFM	RTU-5	30 CFM
RTU-6	100 CFM	RTU-6	80 CFM
RTU-7	200 CFM	RTU-7	80 CFM
RTU-8	100 CFM	RTU-8	70 CFM
RTU-9	200 CFM	RTU-9	70 CFM
RTU-10	100 CFM	RTU-10	70 CFM
RTU-11	200 CFM	RTU-11	70 CFM
RTU-12	100 CFM	RTU-12	70 CFM
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RTU-96	100 CFM	RTU-96	70 CFM
RTU-97	200 CFM	RTU-97	70 CFM
RTU-98	100 CFM	RTU-98	70 CFM
RTU-99	200 CFM	RTU-99	70 CFM
RTU-100	100 CFM	RTU-100	70 CFM



UNIT AIR HANDLER AND MOUNTING DETAIL

SEQUENCE OF OPERATION

RTU-2

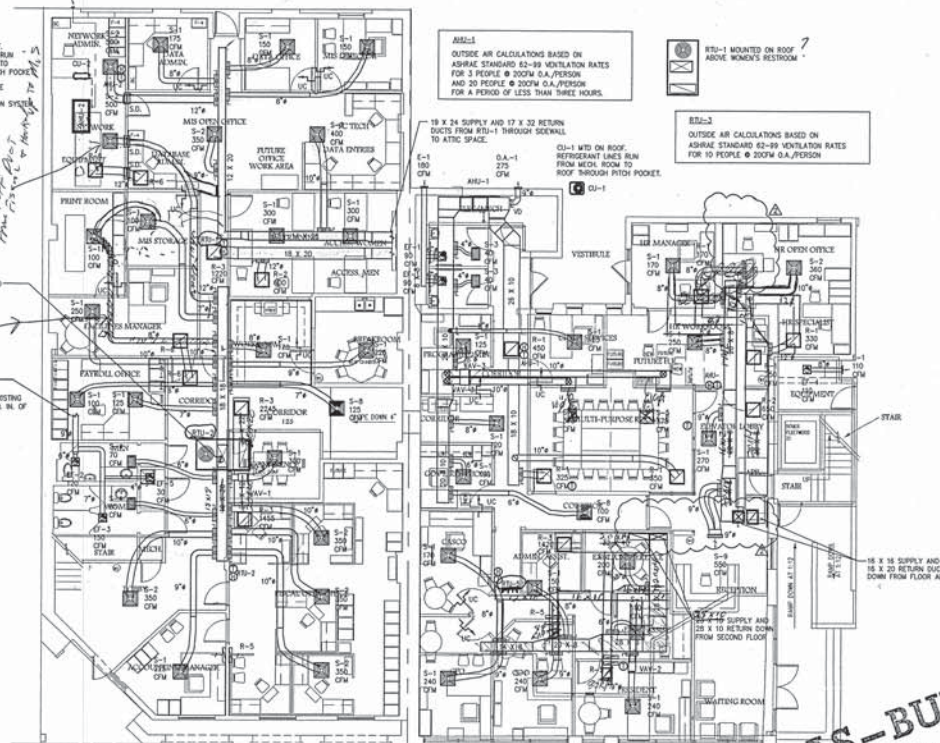
THE CONTROL SYSTEM SHALL BE FURNISHED WITH THE MICRO-PROCESSOR BASED DATA ALARM AND PROCESSOR. THE PANEL SHALL INCLUDE UNIT SWITCHING FUNCTIONS AND DISPLAY NORMAL FUNCTIONAL MALFUNCTIONS AND SERVICE DIAGNOSTICS. THE PANEL SHALL AUTOMATICALLY DISPLAY TEMPERATURE AND HUMIDITY ALONG WITH ALL OPERATIONAL AND ALARM MESSAGES. TEMPERATURE SHALL BE MAINTAINED AT 85° (ADJUSTABLE). HUMIDITY SHALL BE MAINTAINED BETWEEN 40% AND 60% (UPON A RISE OF HUMIDITY, THE HUMIDISTAT FUNCTION SHALL ACTIVATE THE UNIT'S ELECTRIC REHEAT COIL UNTIL HUMIDITY IS SATISFIED. UPON A DECREASE IN HUMIDITY, THE STEAM HUMIDIFIER SHALL BE ACTIVATED. THE HUMIDIFIER CAPACITY SHALL BE 5 POUNDS PER HOUR UNTIL HUMIDITY IS SATISFIED).

CONDENSATE LINE FROM RTU-2 RUN THROUGH ATTIC SPACE DOWN EXTERIOR WALL IN BREAKFAST CHASE.

CONTRACTOR SHALL PROVIDE ROOMS MACHINE DAMPERS MODEL 5500 AND INTERCONNECT CONTROLS WITH NETWORK FIRE SUPPRESSION SYSTEM.

SMOKE DETECTOR LOCATED IN SUPPLY DUCT FOR AIR HANDLER SHUTDOWN.

PIPE INTO EXISTING EXHAUST DUCT TO VERIFY EXISTING DUCT TO HAVE MIN. 90 SQ. IN. OF FREE AREA.



VAR-1 - YOUNG REGULATOR COMPANY 10" x VARIABLE AIR VOLUME CONTROLLER W/YOUNG T-212 THERMOSTAT WITH AUTO CHANGEOVER. 150-300 CFM

RTU-2
OUTSIDE AIR CALCULATIONS BASED ON ASHRAE STANDARD 62-99 VENTILATION RATES FOR 15 PEOPLE @ 200FM O.A./PERSON

RTU-1
OUTSIDE AIR CALCULATIONS BASED ON ASHRAE STANDARD 62-99 VENTILATION RATES FOR 9 PEOPLE @ 200FM O.A./PERSON

VAR-2 - YOUNG REGULATOR COMPANY 10" x VARIABLE AIR VOLUME CONTROLLER W/YOUNG T-212 THERMOSTAT WITH AUTO CHANGEOVER. 150-240 CFM
VAR-3 - YOUNG REGULATOR COMPANY 10" x VARIABLE AIR VOLUME CONTROLLER W/YOUNG T-212 THERMOSTAT WITH AUTO CHANGEOVER. 150-375 CFM (TYP. OF 2)

FIRST FLOOR MECHANICAL PLAN

SCALE: 1/8" = 1'-0"



DATES

CONS. DOCUMENTS	08/09/02
PERMIT ISSUE	08/27/02
ARCHITECT REV.	01/03/03
MECH. DEPT. COR.	01/15/03

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SEAL

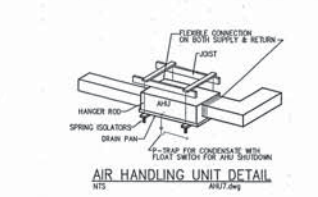
COASTAL BEHAVIORAL HEALTHCARE, INC. OFFICES
1581-1585 STATE STREET
SARASOTA, FLORIDA

PROJECT NO. 1207
DRAWN BY: CDB
SHEET TITLE: 1207_M-1-MECHANICAL FLOOR PLAN

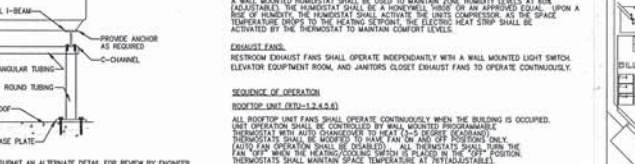
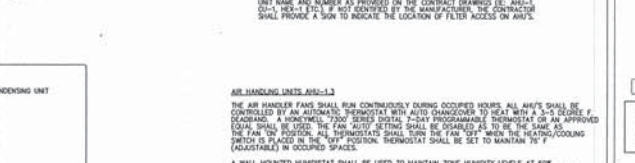
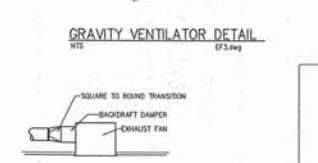
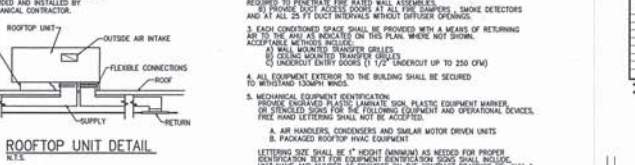
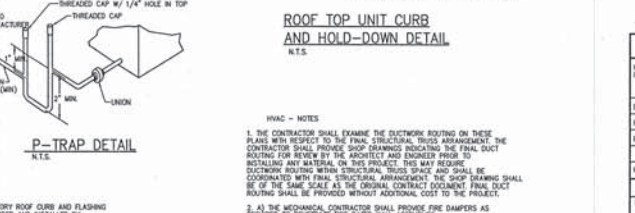
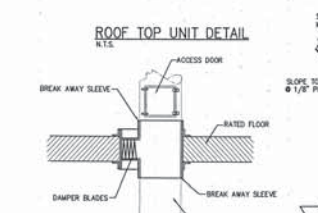
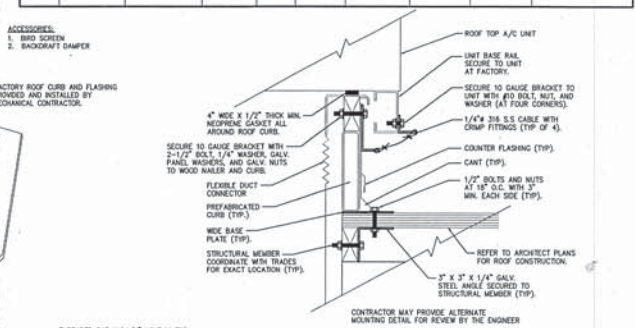
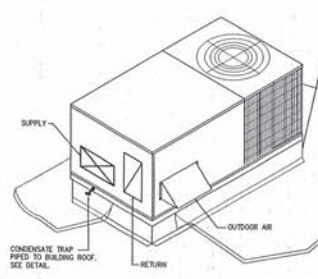
SHEET No. 1
M-1

DO NOT SCALE DRAWING. TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 554, LAW OF FLORIDA.

+ 2 UNITS → 1 NOW SERVING ROOM
1 FACILITY



EXHAUST FAN SCHEDULE									
SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG #	CFM	EX.S.P.	VOLTS/PH	AMP/HP	FAN SPEED / SIZES	ACCESSORIES
EF-1	CEILING	GREENHECK	SP-7	90	.22	115/1	80W	950/2.3	2
EF-2	CEILING	GREENHECK	SP-9	120	.22	115/1	120W	1050/3.3	2
EF-3	CEILING	GREENHECK	SP-9	150	.37	115/1	120W	1050/3.2	2
EF-4	CEILING	GREENHECK	SP-7	110	.37	115/1	80W	950/2.2	2
EF-5	CEILING	GREENHECK	SP-5	30	.37	115/1	46W	1880/4.1	2
EF-6	CEILING	GREENHECK	SP-6	60	.37	115/1	40W	1500/3.1	2
EF-7	CEILING	GREENHECK	SP-6	60	.17	115/1	40W	1500/3.1	2



RTU SCHEDULE									
UNIT	MANR	MODEL	BTU	CFM	SEER	VOLTS/PH	HEATING	EXAP FAN HP	REMARKS
RTU-1	TRANE	T0002	70,000	2400	10	240/3	8	1	2nd UNIT - MIS
RTU-2	TRANE	T0003	120,000	4000	10	240/3	18	3	2nd UNIT - MIS
RTU-3	NOT USED								
RTU-4	TRANE	T0004	40,000	1500	10	240/1	10	8	2nd UNIT - MIS
RTU-5	TRANE	T0002	40,000	1400	10	240/1	7.8	1/3	2nd UNIT - MIS
RTU-6	TRANE	T0002	40,000	1400	10	240/1	7.8	1/3	2nd UNIT - MIS

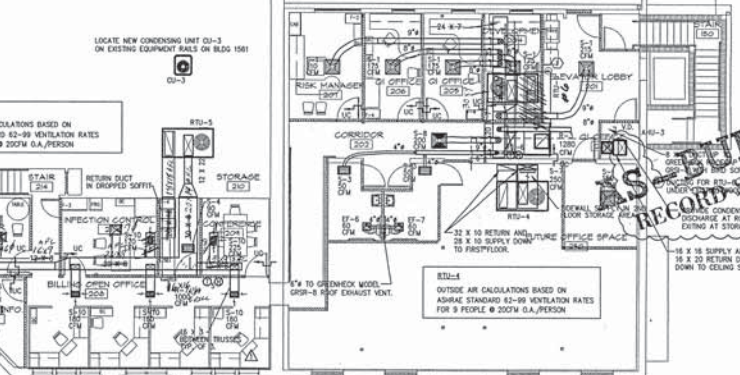
A/C SCHEDULE									
UNIT	MANR	MODEL	BTU	CFM	SEER	VOLTS/PH	HEATING	EXAP FAN HP	REMARKS
AHU-1	TRANE	T0002	1400	---	---	240/3	7.20	1/2	44/45 78/80 40 275
AHU-2	DATA ARE	DAMA-2.5-40	---	1225	---	240/1	20W	3/4	17/20 75/84 3
AHU-3	TRANE	T0004	1500	---	---	240/1	8.6	1/2	35/80 78/87 45 200
CU-1	TRANE	T0004	42,000	---	---	240/1	---	---	35/40 92
CU-2	DATA ARE	DAMA-2.5-40	32,200	---	---	240/1	---	---	31/30 92
CU-3	TRANE	T0004	48,000	---	---	240/1	---	---	30/30 92

- NOTES:**
1. STEAM GENERATOR HEAT EXCHANGER
 2. 3/4" ELECTRIC HEAT WITH HIGH LIMIT OUTLET
 3. FIELD INSTALLED CONDENSATE PUMP
 4. DATA ALARM WIRE PROCESSOR WITH REMOTE TEMPERATURE AND HUMIDITY SENSORS
 5. VERTICAL SUPPLY AIR
 6. 3" COB EXHAUST DISPOSABLE FILTER
 7. 1/2" COB EXHAUST DISPOSABLE FILTER
 8. 1/2" COB EXHAUST DISPOSABLE FILTER
 9. CONTRACTOR SHALL PROVIDE CONDENSATE PUMP TO DISCHARGE AT ROOF LEVEL

AIR DEVICE SCHEDULE						
SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG #	CFM	NECK SIZE	REMARKS
S-1	LAY-IN	TRUS	T00-AA	100-300	9 X 9	4-WAY
S-2	LAY-IN	TRUS	T00-AA	350-500	12 X 12	4-WAY
S-3	CEILING	TRUS	250-AA	40	8 X 4	2
S-4	CEILING	TRUS	250-AA	70-125	10 X 6	2
S-5	SEOWALL	TRUS	300-FS	375	18 X 6	2
S-6	SEOWALL	TRUS	300-FS	100-225	10 X 6	2
S-7	SEOWALL	TRUS	300-FS	250-275	12 X 6	2
S-8	LAY-IN	TRUS	T00-AA	120-275	9 X 9	2-WAY
S-9	SEOWALL	TRUS	300-FS	350	24 X 6	2
S-10	CEILING	TRUS	250-AA	170-225	18 X 14	2

RECTANGULAR DUCT HANGERS									
MAX. HALF OF DUCT PERIMETER	PAIR AT 10' SPACING	PAIR AT 8' SPACING	PAIR AT 6' SPACING	PAIR AT 4' SPACING	PAIR AT 3' SPACING	PAIR AT 2' SPACING	PAIR AT 1' SPACING	PAIR AT 1/2' SPACING	PAIR AT 1/4' SPACING
P/2-30"	1" X 22 ga 10ga	1" X 22 ga 10ga	1" X 22 ga 10ga	1" X 22 ga 10ga	1" X 22 ga 10ga	1" X 22 ga 10ga	1" X 22 ga 10ga	1" X 22 ga 10ga	1" X 22 ga 10ga
P/2-72"	1" X 18 ga 3/8"	1" X 18 ga 3/8"	1" X 18 ga 3/8"	1" X 18 ga 3/8"	1" X 18 ga 3/8"	1" X 18 ga 3/8"	1" X 18 ga 3/8"	1" X 18 ga 3/8"	1" X 18 ga 3/8"
P/2-96"	1" X 16 ga 3/8"	1" X 16 ga 3/8"	1" X 16 ga 3/8"	1" X 16 ga 3/8"	1" X 16 ga 3/8"	1" X 16 ga 3/8"	1" X 16 ga 3/8"	1" X 16 ga 3/8"	1" X 16 ga 3/8"

- ACCESSORIES:**
1. BROOKLYN
 2. OPPOSED BLADE DAMPER



SCALE: N.T.S.

DATES

CONS DOCUMENTS 08/29/02

PROJECT ISSUE 08/27/02

CONS REVISIONS 08/27/02

ARCHITECT REV. 08/23/02

MECHANICAL REV. 08/23/02

CONSULTANT

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LICENSURE #A 9000075

COASTAL BEHAVIORAL HEALTHCARE, INC. OFFICES

1561-1565 STATE STREET

SARASOTA, FLORIDA

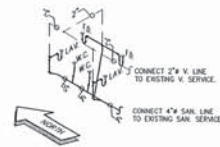
PROJECT NO. 1007

OWNER BY: (S.A.)

SHEET TITLE: MECHANICAL NOTES, DETAILS, AND SCHEDULES

SHEET NO. 1

M-2



REST ROOMS 121 AND 122
PARTIAL FIRST FLOOR
PLUMBING ISOMETRIC DIAGRAM

PLUMBING DESIGN DATA:
SANITARY FIXTURE UNITS AS TAKEN FROM
FROM FLORIDA BUILDING CODE 2001 PLUMBING
TABLE 709.3 "FIXTURE UNITS PER FIXTURE GROUP"
SANITARY FIXTURE UNITS: 67

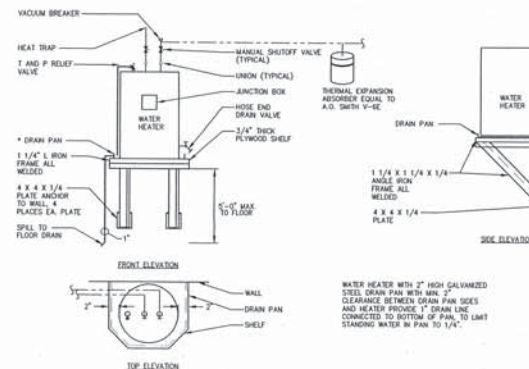


AS-BUILT
RECORD SET

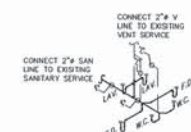
P-1

PLUMBING SYMBOL LEGEND				
ABV.	DESCRIPTION	SYMBOL	ABV.	DESCRIPTION
ABV.	ABOVE FINISH FLOOR	—	NC	NOT IN CONTRACT
AP	ACCESS PANEL	— SAN —	SAN	SANITARY WASTE LINE
CB	CATCH BASIN	— V —	V	VENT LINE
CONT.	CONTINUATION	— AW —	AW	ACID WASTE LINE
CPVC	CHLORINATED POLYVINYL CHLORIDE	— AV —	AV	ACID VENT LINE
DN	DOWN	— CT —	CT	WASTE TO GREASE TRAP LINE
EG	EGGPOST	— GW —	GW	DOMESTIC COLD WATER LINE
ENG	ENGINEERING	— HW —	HW	DOMESTIC HOT WATER LINE
EX	EXCISING	— FWR —	FWR	DOMESTIC HOT WATER RECIRCULATING LINE
F	FACE FURNISHMENT	— GAS —	GAS	NATURAL GAS LINE
FD	FLOOR DRAIN	— LP —	LP	LIQUID PETROLEUM GAS LINE
F.A.	FROM ABOVE	— CD —	CD	CONDENSATION DRAIN LINE
F.B.	FROM BELOW	— SD —	SD	STORM DRAIN LINE
GNH	GALLONS PER HOUR	→ 2 WAY CLEAN OUT	C.O.	CLEAN OUT
GNW	GALLONS PER MINUTE	→ WALL CLEAN OUT	W.C.O.	WALL CLEAN OUT
H	HIGHER ELEVATION	→ HOSE END	HE	HOSE END
IR	INDIRECT WASTE	→ PIPE RISE OR DROP	PR	PIPE RISE (DROP)
KW	KILOWATT	→ P.P.C. RISE (ELBOW)	P.P.C.	P.P.C. RISE (ELBOW)
LBS	POUNDS	—	BRANCH — BOTTOM CONNECTION	
M	MANHOLE	—	BRANCH — TOP CONNECTION	
NC	NORMALLY CLOSED	—	BRANCH — TOP CONNECTION	
NO	NORMALLY OPEN	—	CAP ON END OF PIPE	
NTS	NOT TO SCALE	—		
OD	OUTSIDE DIAMETER	—		
OFST	OVERFLOW STORM DRAIN	⊗	FD	FLOOR DRAIN
PPV	PRESSURE REDUCING VALVE	⊗ PS / CRG	FD	FLOOR DRAIN / CASH DRINK DRAIN
PS	POUNDS PER SQUARE INCH	⊙	FI	FLOOR HUB
PVC	POLYVINYL CHLORIDE PIPE	—	—	SATE VALVE
RF	ROOF DRAIN	—	—	CHECK VALVE
RPRP	REDUCED PRESSURE BACKFLOW PREVENTER	—	—	PLUG VALVE (GAS)
SF	SQUARE FEET	—	—	BUTTERFLY VALVE
SH	SHEET	—	—	UNION
U.G.	UNDER GROUND	—	—	BALANCING VALVE
VEL	VELOCITY	—	—	TEMP / PRESS RELIEF VALVE
VDR	VENT DRAIN ROOF	—		
W	WATER	—		

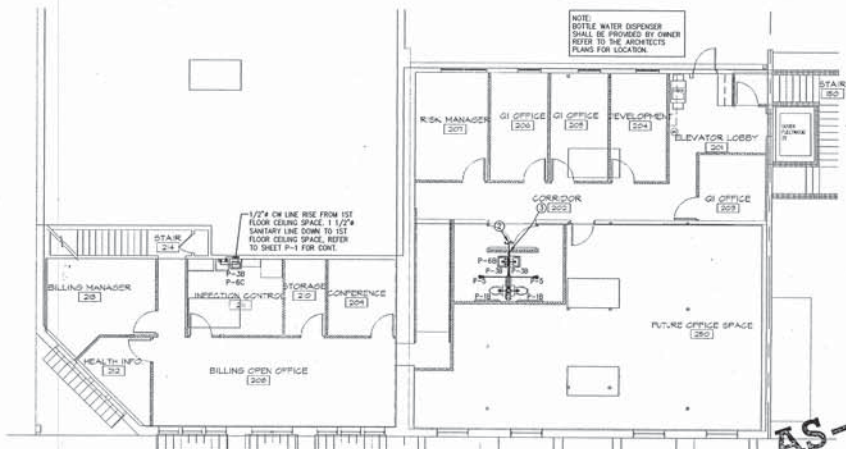
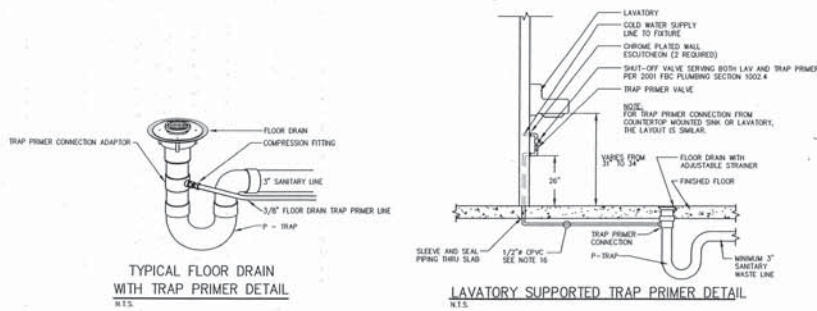
NOTE: ALL SYMBOLS AND ABBREVIATIONS DO NOT NECESSARILY APPLY TO THIS PROJECT



WATER HEATER PIPING DIAGRAM



REST ROOMS 215 AND 216
PARTIAL SECOND FLOOR
PLUMBING ISOMETRIC DIAGRAM
SCALE: NONE



SECOND FLOOR PLUMBING PLAN
SCALE: 1/8" = 1'-0"

**AS-BUILT
RECORD SET**

The Downtown Core Zone District (DTC) Excerpt

The Downtown Core (DTC) district is a very dense mixed-use urban area. Residential dwellings are generally multiple-family and located in tall structures. Residential dwellings may be built up to a maximum density of fifty (50) dwelling units per acre. Non-residential uses are varied and include department stores, entertainment facilities, restaurants, offices and lodging uses. Ground floor retail is allowed everywhere and is mandatory on certain designated frontages. Building height shall be limited to a maximum of ten (10) stories except as provided for in Table 1003 (Building Height). Building frontages include stoops, forecourts and storefronts.

When the Zone District Regulations apply:

- These regulations apply to all new development.
- To any expansion or exterior remodeling of existing buildings with a final determination from the Planning Director.

For example, remodeling a storefront may require compliance with standards, such as; window area, window shape and exterior finish materials and an addition would need to comply with standards, such as; setbacks, height limits and parking.

When these regulations do not apply:

- Existing buildings and uses that do not conform to the provisions of these regulations may continue as they are. However, if a prohibited use ceases for 24 consecutive months, the use shall not be re-established. The Planning Director may grant one extension for an additional 12 months, provided the property owner applies for the extension at least 60 days prior to the end of the original 24-month period. The application shall demonstrate that restoration of the use has been diligently pursued and that practical difficulties will preclude a timely restoration of the use within the original 24-month period. Subsequent uses shall conform to the district regulations. Any final decision of the Planning Director may be appealed to the Planning Board in accord with Section IV-1901 (F) of this code.
- Normal repair and maintenance may be performed on existing buildings.

For example, (1) repair of a broken window would not require compliance with the building design standards for window area and shape or (2) repair of a leaking roof would not require compliance with the roof design standards.

- Any existing or approved structure or structures on a single zoning lot under condominium ownership or cooperative long term leases may be rebuilt after destruction to the prior extent of nonconformity as to height, stories and density of units per acre regardless of the percentage of destruction. In the event of such rebuilding, all other applicable district requirements shall be met unless an Adjustment is obtained in accord with Section IV-1903 of this code.

Valid Development Approvals:

- A project for which an application for site plan approval has been filed prior to the effective date of these regulations may be reviewed, approved and constructed under the prior regulations.
- A project for which a site plan has been approved under the prior regulations may be constructed as approved provided a building permit is issued prior to expiration of such approval.

- Structures and uses in projects filed prior to the effective date or which have already been approved and issued a building permit prior to expiration of such approval shall not be deemed nonconforming but shall be deemed to be lawfully existing in conformity with these regulations and shall be allowed to continue as lawfully existing uses or structures.

Use Chart Excerpts:

Permitted Uses	Minor Conditional Use Approval Required	Major Conditional Use Approval Required
Residential	Commercial Recreation	Major Event Entertainment
Office	Commercial Parking	Bars, Tavern, Nightclubs
Retail Sales and Service	Quick Vehicle Servicing	Colleges
Personal Service Oriented	Alcoholic Beverage Store	Community Services
Entertainment Oriented	Motor Vehicle / Boat Sales Agency	Aviation and Surface Passenger Terminals
Hotel / Motel and Other Temporary Lodging	Motor Vehicle / Boat Showroom	Detention Facilities
Repair Oriented	Commercial Wireless Telecommunication Towers	
Artisan Studios	Vehicle Repair	
Basic Utilities	Private Clubs	
Parks, Open Space, and Playgrounds		
Religious Institutions		
Schools		

Development Standards Excerpts:

Density	50 units / acre
Height	10 Stories
Zoning Lot Size Minimum	1,800 sq. ft.
Building Setback	
Minimum Front	0 ft.
Maximum Front	5 ft.
Minimum Side	0 ft.
Minimum Rear	0 ft.

Note: Additional Exceptions for Height in the DTC.

Existing buildings over 10 stories. In the DTC, an existing building (as of January 6, 2003) over 10 stories in height may be removed, demolished, or destroyed and replaced with a new building. The maximum height of such new building shall be either the number of feet which previously existed in the demolished building or the maximum number of stories allowed in DTC, whichever is greater.

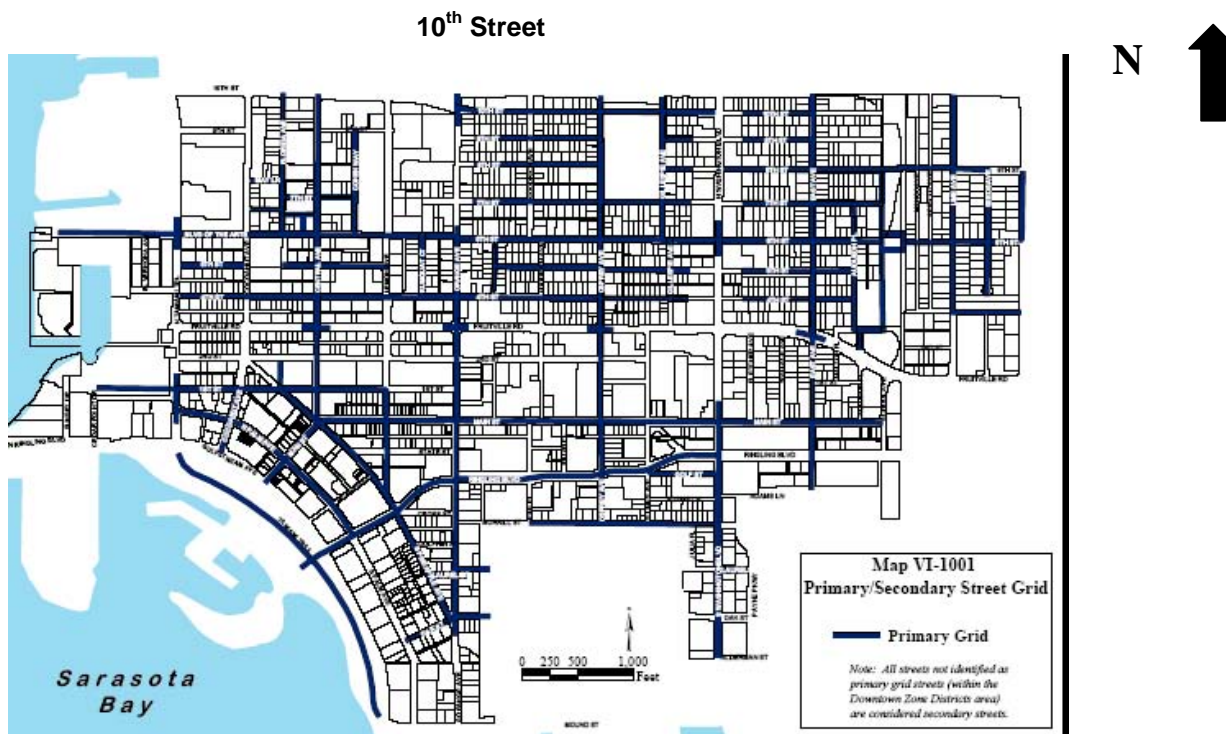
Parking Requirements:

	DTC
Required Parking	
- Residential	1.0 spaces for each dwelling unit
- Non-Residential	1.0 space for each 500 sq. ft. of floor area
- Transient Lodging	0.5 space for each guest unit.
- Bicycle	One bicycle parking space shall be provided for every fifteen off-street vehicular parking spaces.
Exceptions to Required Parking	Liner buildings and independent building of less than 10,000 sq. ft. floor area shall not be required to provide off-street parking. On street parking along the corresponding frontage lines shall be counted toward fulfilling the parking requirements. Locally designated historic buildings shall not be required to provide parking in addition to that, which exists.
Location of Required Parking - Primary Street Grid (See Map VI-1001)	Surface parking shall be located in the second or third layer and masked by a street wall or liner building. Garages shall be located in the third layer and masked by a liner building. Loading areas / spaces are prohibited along frontages.

The required design standards are stated in Table VI-1004 of the Downtown Code. These standards are limited to portions of buildings with frontages that face a primary street. Building frontages that face a secondary street are exempt from these standards.

Intent of Primary Street Frontages:

An **excellent** frontage is one that provides a high level of positive stimulus and interaction for the pedestrian. In an ideal setting, buildings would form a continuous edge, generally up against the outer edge of the right-of-way, with large expanses of glass for pedestrians to see what is happening inside, and a constant sense of give-and-take between inside and outside. The width of the buildings along the street would be relatively narrow, with a range and variety of stores and shops. Restaurants and other uses might spill out onto the sidewalk creating open-air cafes, galleries and other attractions. Landscaping is prevalent, but does not dominate the setting, and does not prevent the pedestrian from getting close to the buildings, storefronts and display window.



Demographics, Labor/Workforce, and Consumer Expenditures

1565 State St, Sarasota, FL

Harshman & Company, Inc.
COMMERCIAL REAL ESTATE BROKER



Disclaimer: While we believe this information (via GeoLytics) to be reliable, we have not checked its accuracy and make no guarantee as to its validity. By using the information provided on this page, the user acknowledges that the data may contain errors or other nonconformities. You and/or your client should diligently and independently verify the specifics of the information that you are using.

Population

Radius:	1 mile	3 miles	5 miles
2023 Projection	12,613	88,846	184,004
2018 Estimate	11,932	83,057	174,132
2015 Estimate	11,447	79,223	166,978
2010 Census	10,847	74,757	157,829
Growth 2018-2023	5.71%	6.97%	5.67%
Growth 2015-2018	4.24%	4.84%	4.28%
Growth 2010-2015	5.53%	5.97%	5.8%

Population (Male)

Radius:	1 mile	3 miles	5 miles
2023 Projection	6,437	42,798	87,576
2018 Estimate	6,090	39,882	82,621
2015 Estimate	5,858	37,950	79,030
2010 Census	5,576	36,168	75,592
Growth 2018-2023	5.7%	7.31%	6%
Growth 2015-2018	3.96%	5.09%	4.54%
Growth 2010-2015	5.06%	4.93%	4.55%

Population (Female)

Radius:	1 mile	3 miles	5 miles
2023 Projection	6,176	46,048	96,428
2018 Estimate	5,842	43,175	91,511
2015 Estimate	5,589	41,273	87,948
2010 Census	5,271	38,589	82,237
Growth 2018-2023	5.72%	6.65%	5.37%
Growth 2015-2018	4.53%	4.61%	4.05%
Growth 2010-2015	6.03%	6.96%	6.94%

Population by Age (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Age 0 to 5	607	4,910	9,139	Age 0 to 5	5%	6%	5%
Age 5 to 10	523	4,521	8,472	Age 5 to 10	4%	5%	5%
Age 10 to 15	435	4,277	8,118	Age 10 to 15	4%	5%	5%
Age 15 to 20	345	4,035	7,813	Age 15 to 20	3%	5%	4%
Age 20 to 25	354	3,947	7,835	Age 20 to 25	3%	5%	4%
Age 25 to 30	460	4,027	8,096	Age 25 to 30	4%	5%	5%
Age 30 to 35	591	4,152	8,275	Age 30 to 35	5%	5%	5%
Age 35 to 40	745	4,397	8,602	Age 35 to 40	6%	5%	5%
Age 40 to 45	833	4,628	9,097	Age 40 to 45	7%	6%	5%
Age 45 to 50	876	4,904	9,964	Age 45 to 50	7%	6%	6%
Age 50 to 55	862	5,126	10,633	Age 50 to 55	7%	6%	6%
Age 55 to 60	854	5,235	11,117	Age 55 to 60	7%	6%	6%
Age 60 to 65	813	5,140	11,236	Age 60 to 65	7%	6%	6%
Age 65 and over	3,634	23,758	55,735	Age 65 and over	30%	29%	32%
Total Population	11,932	83,057	174,132				
Median Age	53.38	48.44	50.95				

Median Age (Male)

Radius:	1 mile	3 miles	5 miles
2010 Census	48.9	43.71	46.73

Median Age (Female)

Radius:	1 mile	3 miles	5 miles
2010 Census	52.03	47.35	49.73

High School Graduates Age 25+ by Educational Attainment (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
High School Graduate (or GED)	2,180	17,402	37,319	High School Graduate (or GED)	37%	44%	42%
Some College, No Degree	1,976	13,232	29,867	Some College, No Degree	34%	33%	33%
Associate or Bachelor's Degree	478	3,512	8,446	Associate or Bachelor's Degree	8%	9%	9%
Master's Degree	698	3,099	8,452	Master's Degree	12%	8%	9%
Professional School Degree	212	1,478	3,560	Professional School Degree	4%	4%	4%
Doctorate Degree	298	919	1,723	Doctorate Degree	5%	2%	2%
Total High School Graduates Age 25+	5,842	39,642	89,367				

Households

Radius:	1 mile	3 miles	5 miles
2023 Projection	6,267	39,212	83,554
2018 Estimate	5,998	36,974	79,694
2015 Estimate	5,801	35,462	76,790
2010 Census	5,486	33,602	72,846
Growth 2018-2023	4.48%	6.05%	4.84%
Growth 2015-2018	3.4%	4.26%	3.78%
Growth 2010-2015	5.74%	5.54%	5.41%

Average Household Size

Radius:	1 mile	3 miles	5 miles
2023 Projection	1.82	2.22	2.18
2018 Estimate	1.82	2.22	2.17
2015 Estimate	1.79	2.2	2.16
2010 Census	1.8	2.19	2.15
Growth 2018-2023	-0.06%	0.02%	0%
Growth 2015-2018	1.65%	0.73%	0.56%
Growth 2010-2015	-0.57%	0.41%	0.43%

Households by Household Type and Size and Presence of Children (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles	
Family Households	2,215	19,487	44,368	Family Households	<div><div></div></div>	37% <div><div></div></div>	53% <div><div></div></div>	56% <div><div></div></div>
Married-couple family	1,659	12,917	32,322	Married-couple family	<div><div></div></div>	28% <div><div></div></div>	35% <div><div></div></div>	41% <div><div></div></div>
With own children under 18 years	288	3,604	8,233	With own children under 18 years	<div><div></div></div>	5% <div><div></div></div>	10% <div><div></div></div>	10% <div><div></div></div>
No own children under 18 years	1,371	9,313	24,089	No own children under 18 years	<div><div></div></div>	23% <div><div></div></div>	25% <div><div></div></div>	30% <div><div></div></div>
Male Householder: no wife present	188	1,663	3,268	Male Householder: no wife present	<div><div></div></div>	3% <div><div></div></div>	4% <div><div></div></div>	4% <div><div></div></div>
With own children under 18 years	64	728	1,499	With own children under 18 years	<div><div></div></div>	1% <div><div></div></div>	2% <div><div></div></div>	2% <div><div></div></div>
No own children under 18 years	124	935	1,769	No own children under 18 years	<div><div></div></div>	2% <div><div></div></div>	3% <div><div></div></div>	2% <div><div></div></div>
Female Householder: no husband present	368	4,907	8,778	Female Householder: no husband present	<div><div></div></div>	6% <div><div></div></div>	13% <div><div></div></div>	11% <div><div></div></div>
With own children under 18 years	211	2,623	4,471	With own children under 18 years	<div><div></div></div>	4% <div><div></div></div>	7% <div><div></div></div>	6% <div><div></div></div>
No own children under 18 years	157	2,284	4,307	No own children under 18 years	<div><div></div></div>	3% <div><div></div></div>	6% <div><div></div></div>	5% <div><div></div></div>
Nonfamily Households	3,783	17,487	35,326	Nonfamily Households	<div><div></div></div>	63% <div><div></div></div>	47% <div><div></div></div>	44% <div><div></div></div>
1 Person households	3,237	14,013	28,358	1 Person households	<div><div></div></div>	54% <div><div></div></div>	38% <div><div></div></div>	36% <div><div></div></div>
2+ Unrelated people	546	3,474	6,968	2+ Unrelated people	<div><div></div></div>	9% <div><div></div></div>	9% <div><div></div></div>	9% <div><div></div></div>
Total Households	5,998	36,974	79,694					

Households by Household Income (2018 Estimate)

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	1,906	10,978	19,159
\$25,000 to \$49,999	1,388	10,905	22,147
\$50,000 to \$74,999	1,006	6,457	15,019
\$75,000 to \$99,999	403	3,065	8,570
\$100,000 to \$124,999	396	2,131	5,463
\$125,000 to \$149,999	183	844	2,656
\$150,000 to \$199,999	224	1,107	2,914
\$200,000 or more	492	1,487	3,766
Total Households	5,998	36,974	79,694
Average Household Income	\$62,902.72	\$55,253.07	\$63,543.63
Median Household Income	\$44,585.99	\$45,298.09	\$53,309.43

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	32%	30%	24%
\$25,000 to \$49,999	23%	29%	28%
\$50,000 to \$74,999	17%	17%	19%
\$75,000 to \$99,999	7%	8%	11%
\$100,000 to \$124,999	7%	6%	7%
\$125,000 to \$149,999	3%	2%	3%
\$150,000 to \$199,999	4%	3%	4%
\$200,000 or more	8%	4%	5%

Households by Household Income (2023 Projection)

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	2,010	11,741	20,249
\$25,000 to \$49,999	1,462	11,644	23,376
\$50,000 to \$74,999	1,051	6,849	15,841
\$75,000 to \$99,999	408	3,227	8,978
\$100,000 to \$124,999	412	2,232	5,677
\$125,000 to \$149,999	194	887	2,698
\$150,000 to \$199,999	228	1,129	2,977
\$200,000 or more	502	1,503	3,758
Total Households	6,267	39,212	83,554
Average Household Income	\$63,098.81	\$55,205.48	\$63,537.22
Median Household Income	\$44,788.67	\$45,550.20	\$53,896.90

Radius:	1 mile	3 miles	5 miles
Less than \$25,000	32%	30%	24%
\$25,000 to \$49,999	23%	30%	28%
\$50,000 to \$74,999	17%	17%	19%
\$75,000 to \$99,999	7%	8%	11%
\$100,000 to \$124,999	7%	6%	7%
\$125,000 to \$149,999	3%	2%	3%
\$150,000 to \$199,999	4%	3%	4%
\$200,000 or more	8%	4%	4%

Per Capita Income

Radius:	1 mile	3 miles	5 miles
2018 Estimate	\$33,779.57	\$25,540.47	\$29,785.02
2015 Estimate	\$33,631.16	\$25,770.61	\$29,987.30
Growth 2015-2018	0.44%	-0.89%	-0.67%

Unemployment Rate

Radius:	1 mile	3 miles	5 miles
2018 Estimate	7.59%	4.62%	3.75%
2015 Estimate	16.35%	9.89%	9.4%
Growth 2015-2018	-53.58%	-53.32%	-60.08%

Population Age 16+ By Employment Status (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Labor Force	4,310	38,461	82,113	Labor Force	<div><div></div></div> 42%	<div><div></div></div> 56%	<div><div></div></div> 56%
Civilian, Employed	3,980	36,767	79,096	Civilian, Employed	<div><div></div></div> 39%	<div><div></div></div> 54%	<div><div></div></div> 54%
Civilian, Unemployed	330	1,694	3,017	Civilian, Unemployed	<div><div></div></div> 3%	<div><div></div></div> 2%	<div><div></div></div> 2%
Not in Labor Force	5,972	29,955	64,480	Not in Labor Force	<div><div></div></div> 58%	<div><div></div></div> 44%	<div><div></div></div> 44%
Total Population Age 16+	10,282	68,416	146,593				

Employed Civilian Population Age 16+ by Industry (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Agriculture, forestry, fishing and hunting, mining and construction	463	3,666	7,698	Agriculture, forestry, fishing and hunting, mining and construction	<div><div></div></div> 12%	<div><div></div></div> 10%	<div><div></div></div> 10%
Manufacturing	138	2,441	4,902	Manufacturing	<div><div></div></div> 3%	<div><div></div></div> 7%	<div><div></div></div> 6%
Wholesale & retail trade	567	5,664	12,365	Wholesale & retail trade	<div><div></div></div> 14%	<div><div></div></div> 15%	<div><div></div></div> 16%
Transportation and warehousing, and utilities	134	919	2,052	Transportation and warehousing, and utilities	<div><div></div></div> 3%	<div><div></div></div> 2%	<div><div></div></div> 3%
Information	149	729	1,548	Information	<div><div></div></div> 4%	<div><div></div></div> 2%	<div><div></div></div> 2%
Finance, insurance, real estate and rental and leasing	208	1,278	3,676	Finance, insurance, real estate and rental and leasing	<div><div></div></div> 5%	<div><div></div></div> 3%	<div><div></div></div> 5%
Professional, scientific, and technical services	530	3,974	9,744	Professional, scientific, and technical services	<div><div></div></div> 13%	<div><div></div></div> 11%	<div><div></div></div> 12%
Educational, health and social services	602	7,985	16,579	Educational, health and social services	<div><div></div></div> 15%	<div><div></div></div> 22%	<div><div></div></div> 21%
Arts, entertainment, recreation, accommodation and food services	683	5,525	10,514	Arts, entertainment, recreation, accommodation and food services	<div><div></div></div> 17%	<div><div></div></div> 15%	<div><div></div></div> 13%
Other services (except public administration)	456	3,564	7,474	Other services (except public administration)	<div><div></div></div> 11%	<div><div></div></div> 10%	<div><div></div></div> 9%
Public Administration	50	1,022	2,544	Public Administration	<div><div></div></div> 1%	<div><div></div></div> 3%	<div><div></div></div> 3%
Total Employed Civilian Population Age 16+	3,980	36,767	79,096				

Housing Units by Tenure (2018 Estimate)

Radius:	1 mile	3 miles	5 miles	Radius:	1 mile	3 miles	5 miles
Vacant Housing Units	1,475	9,374	21,507	Vacant Housing Units	<div><div></div></div> 20%	<div><div></div></div> 20%	<div><div></div></div> 21%
Occupied Housing Units	5,998	36,974	79,694	Occupied Housing Units	<div><div></div></div> 80%	<div><div></div></div> 80%	<div><div></div></div> 79%
Owner- Occupied	2,890	22,970	54,036	Owner- Occupied	<div><div></div></div> 39%	<div><div></div></div> 50%	<div><div></div></div> 53%
Renter- Occupied	3,108	14,004	25,658	Renter- Occupied	<div><div></div></div> 42%	<div><div></div></div> 30%	<div><div></div></div> 25%
Total Housing Units	7,473	46,348	101,201				