

Development Opportunity

Pad Ready Townhome Lots For Sale



Contact:

John B. Harshman, Broker

Phone: 941-951-2002 Fax: 941-366-5818

1575 Main St., Sarasota, FL 34236

Email: jbh@harshmanrealestate.com

www.harshmanrealestate.com

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IMPORTANT NOTICE

The information contained herein, while based upon data supplied by the seller and obtained from other sources deemed reliable, is subject to errors or omissions and is not, in any way, warranted by Harshman & Company, Inc. or by any agent, independent associate or employee of Harshman & Company.

Harshman & Company, Inc. (Broker) hereby notifies prospective buyers that it shall be the buyer's responsibility to verify any and all representations made by seller and/or Broker regarding the property, its condition, improvements, utilities, zoning, insurability, conformance and/or compliance with federal, state and local laws as well as all restrictions of any applicable owner's association, boundaries and use. Buyer recognizes that the Broker is not an expert in legal, tax, financial, appraising, surveying, structural conditions, hazardous materials, engineering or other areas.

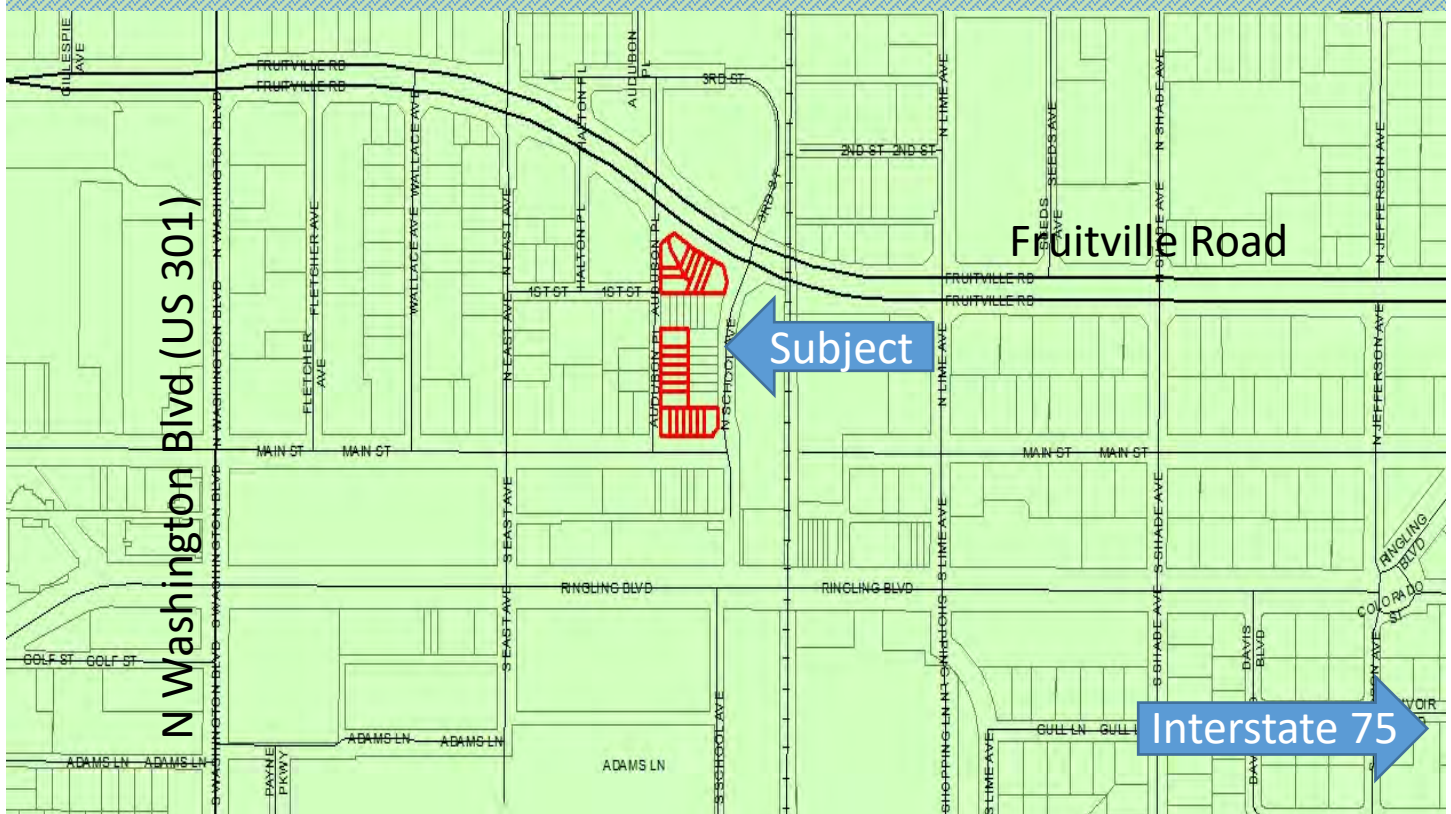
Exclusive Right of Sale Listing

Harshman & Company, Inc. is the Exclusive Listing Agent for the subject property and is presenting this property to Qualified Principal Buyers with expertise in real estate investment and development. Buyers are excluded from Cooperating Broker fees.

Inquiries regarding the property described herein should be directed to:

John B. Harshman, Broker
Harshman & Company, Inc.
1575 Main St.
Sarasota, FL 34236

Phone: 941-951-2002
FAX: 941-366-5818
Email: jbh@harshmanrealestate.com



Property Summary

Property Description:	The subject is 23 pad ready fee simple town home lots located in The Artisan townhome development which is surrounded by Main St., Audubon Pl., Fruitville Ave. and School Ave. The Artisan is a planned six building town home development with buildings numbered 3 and 4 completed and sites for buildings 1, 2, 5 and 6 remain vacant. Each town home is planned for 3-stories
Owner:	BC School Avenue, LLC
Address:	23 fee simple lots fronting Main Street, Audubon Place and Fruitville Road
Parcel ID#:	2029-04-0135 thru 2029-04-0141 fronting Main Street, 2029-04-0142 thru 2029-04-0148 fronting Audubon Place 2029-04-0163 thru 2029-04-0171 fronting on Audubon Place and Fruitville Road
Land Size:	Lots range in size from 1,357 sq ft to 3,762 sq ft (see plat)
Improvements:	The available sites are vacant and pad ready. Two buildings of the six have been constructed.
Zoning:	DTC (downtown core) City of Sarasota
Opportunity Zone:	The subject is located within the newly IRS created Opportunity Zone. Seek advice from your qualified tax advisor to determine if this is of benefit to you.
Confidentiality:	Please do not have discussion with current occupants or owners of units.
Price:	\$3,450,000 (\$150,000 per unit)

Frequently Asked Questions

- 3 constructed units are closed and occupied
- 5 constructed units are under contract to purchase
- 6 units are completed and being marketed for sale
- HOA and Plat documents have been recorded and would be assigned at closing
- All architectural and engineering plans are included in the sale and will be assigned at closing
- Building #6 has building permits in place and will be assigned at closing
- Community or Neighborhood Association Restriction and Rules and Regulations
- Changing the use from townhouses to live/work or other non-residential use would require a site plan amendment and changes to the R&R.
- Approved Plat, HOA and zoning approvals prohibit alternate residential product
- Vacating lot lines would require a site plan amendment and plat revision



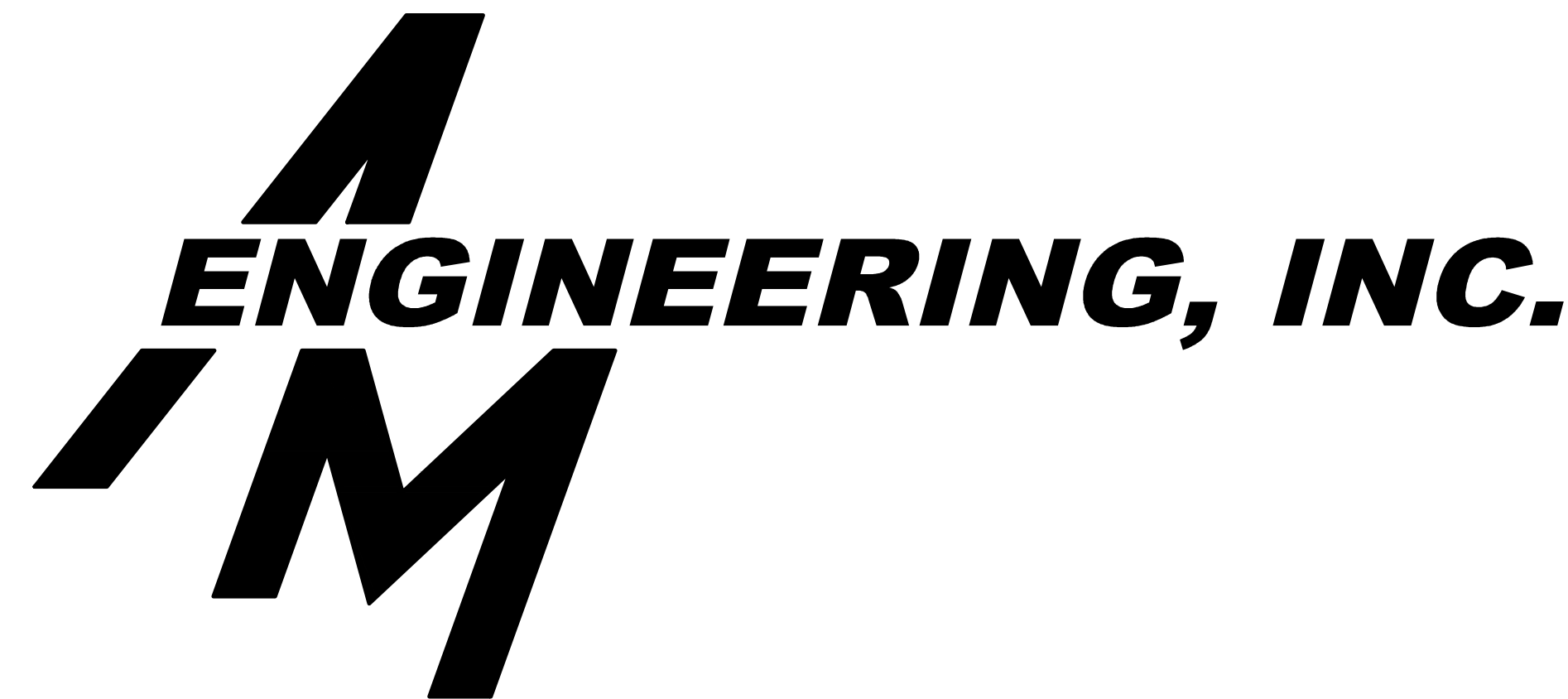
- 1) SEE LANDSCAPE & ARCHITECTS PLANS FOR DETAILS OF PROPOSED LANDSCAPING AND AMENITIES
- 2) WHERE APPLICABLE ALL NEW PAVEMENT AND ASPHALT OVERLAY TO MATCH ALL REMAINING UNDISTURBED PAVEMENT AND WALKWAYS. MATCH EXISTING PAVEMENT BY SAW CUTTING AND APPLICATION OF PRIME AND TACK COATS.
- 3) THE WORK EMBRACED HEREIN, WITHIN THE RIGHT-OF-WAY, SHALL BE DONE IN ACCORDANCE WITH BOTH THE "SPECIAL PROVISIONS FOR CONSTRUCTION" OF THE CITY OF SARASOTA AND THE "ENGINEERING DESIGN CRITERIA MANUAL (E.D.C.M.)."
- 4) CONSTRUCTION EQUIPMENT TO BE PLACED ON THE CONSTRUCTION SITE (PRIVATE PROPERTY) ONLY. NO STREET IS TO BE UTILIZED DURING CONSTRUCTION BY STORING MATERIAL OR EQUIPMENT (UNLESS SPECIFICALLY PERMITTED BY THE CITY ENGINEER).
- 5) CONSTRUCTION OF SITE IMPROVEMENTS SHALL COMMENCE WITHIN ONE YEAR OF CITY ENGINEER CERTIFICATION OR BECOME INVALID.
- 6) THE REPLACEMENT OF SIDEWALKS AND CURB AND GUTTER SHALL ONLY LAG ITS REMOVAL. BY A MAXIMUM OF TWO (2) WEEKS, UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
- 7) ALL SURVEY MARKERS (BOTH VERTICAL AND HORIZONTAL) WITHIN THE GENERAL VICINITY, SHALL BE CONTINUOUSLY PROTECTED. ANY MARKERS DISTURBED OR DAMAGED SHALL BE REPLACED BY A PROFESSIONAL SURVEYOR MAPPER AND CERTIFIED TO THE CITY ENGINEER PRIOR TO RELEASE OF PROJECT CERTIFICATE OF OCCUPANCY.
- 8) A LANDSCAPE AGREEMENT MUST BE OBTAINED FROM THE CITY OF SARASOTA ENGINEERING DEPARTMENT FOR ANY LANDSCAPING AND/OR IRRIGATION FACILITIES WITHIN THE RIGHT OF WAY.
- 9) EXISTING TRAFFIC CONTROL SIGNS SHALL BE REMOVED, STORED, RELOCATED AND/OR DELIVERED TO THE CITY OF SARASOTA PUBLIC WORKS DEPARTMENT AS PART OF THIS PROJECT.
- 10) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING BOTH DRIVEWAY AND RIGHT OF WAY CONSTRUCTION PERMITS FROM THE CITY OF SARASOTA ENGINEERING DEPARTMENT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY WITHIN THE RIGHT OF WAY.
- 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL CONSTRUCTION RELATED SILTATION AND EROSION WHICH MAY OCCUR (SEE DETAILS AND NOTES ON SHEETS X & Y).
- 12) THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL CENTER, FPL&L AND ALL OTHER UTILITY COMPANIES PRIOR TO ANY WORK ONSITE OR OFFSITE SO THAT THE EXACT LOCATION OF ALL UTILITIES CAN BE DETERMINED.
- 13) PLANT NO TREES AND NO HEDGES IN DRAINAGE SWALES OR IN THE FILTRATION AREAS OF ATTENUATION BASINS THAT MAY CREATE A NEGATIVE EFFECT ON THE ATTENUATION FACILITY, I.e., BLOCKING FLOW, CLOGGING INFILTRATION.
- 14) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 15) THE DEMOLITION/REMOVAL OF EXISTING STRUCTURES AND AMENITIES IF ANY REQUIRES A PERMIT WHICH IS TO BE ISSUED BY THE CITY OF SARASOTA AND APPLIED FOR BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- 16) THE GENERAL CONTRACTOR SHALL COORDINATE UTILITY CONNECTIONS WITH THE APPROPRIATE AUTHORITIES PRIOR TO MAKING CONNECTIONS. PROVISION SHALL BE MADE FOR CONTINUATION OF SERVICE TO ALL PARTIES WITHOUT INTERRUPTION.
- 17) PROPOSED USE: CONDOMINIUM
- 18) BOUNDARY, TREE & TOPOGRAPHIC INFORMATION IS BASED ON SURVEY PROVIDED BY STOUTEN CARMER, INC. - LATEST REVISION DATE 10/21/15.
- 19) BASED ON NGS BENCHMARK DESIGNATION "S-700", N.A.D. 1988
- 20) DOMESTIC WATER SERVICE TO BE PROVIDED BY THE CITY OF SARASOTA
- 21) CENTRAL SEWER SERVICE TO BE PROVIDED BY THE CITY OF SARASOTA
- 22) REQUIRED BUILDING SETBACKS:
FRONT = 0 ; 5' PRIMARY STREET
SIDE
REAR = 0

SCHOOL AVENUE TOWNHOMES

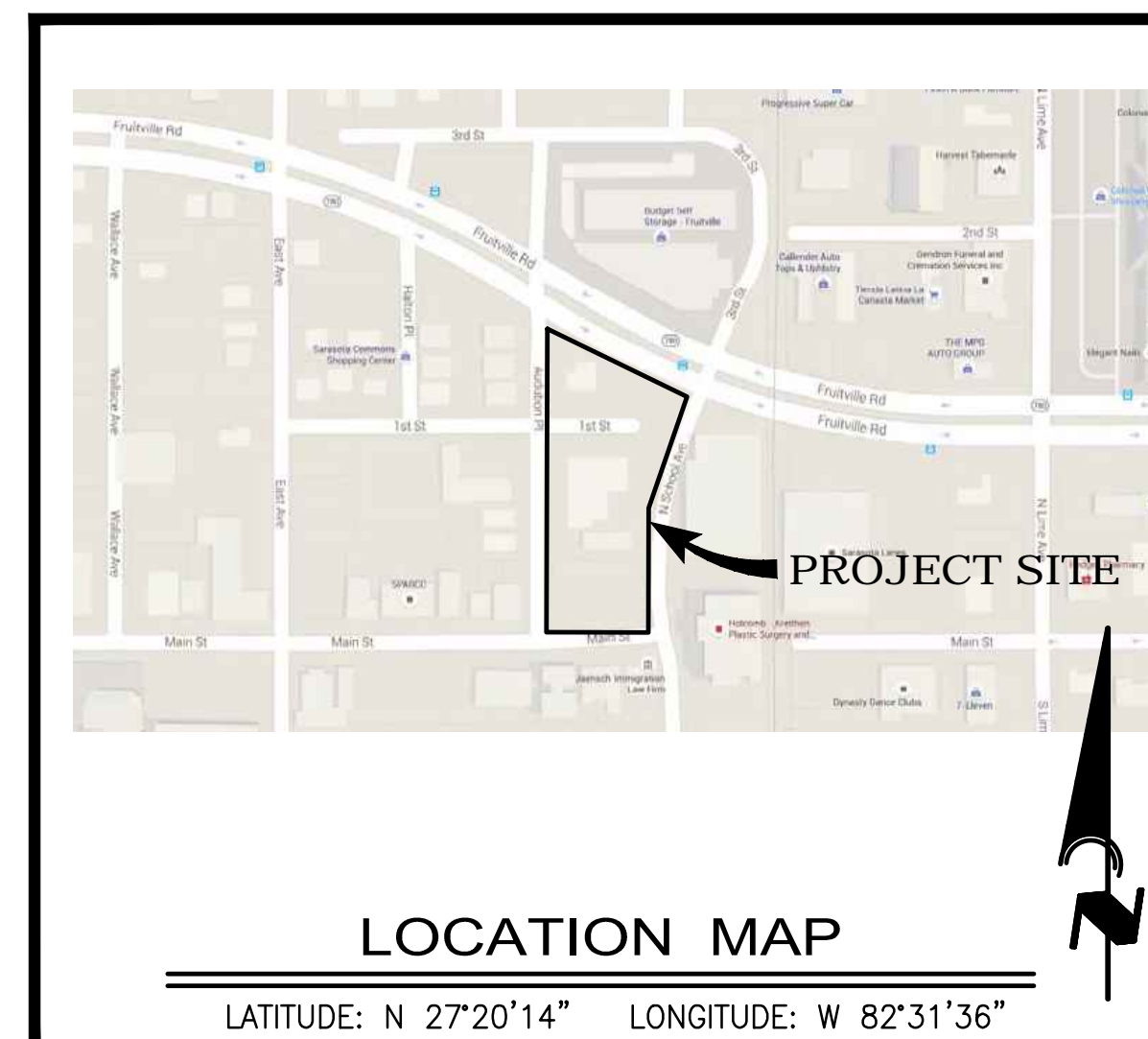
DEVELOPER: ICON RESIDENTIAL
2190 BELCHER RD S., SUITE B
LARGO, FL 33771
(813) 416-7913

SURVEYOR: STOUTEN CRAMER, INC.
324 NICHOLAS PKWY WEST, SUITE F
CAPE CORAL, FL 33991
(239) 673-9541

DWG. NO.	DESCRIPTION
1	COVER SHEET
2	AERIAL PHOTOGRAPH
3	EXISTING CONDITIONS / DEMOLITION PLAN
4	MASTER SITE PLAN
4A	TRUCK TURN TEMPLATES
5	PAVING, GRADING & DRAINAGE PLAN
5A	NORTH STORM VAULT DETAILS
5B	SOUTH STORM VAULT DETAILS
6	PAVING, GRADING & DRAINAGE DETAILS
7	STORMWATER POLLUTION PREVENTION PLAN
8	MASTER UTILITY PLAN
8A	PLAN & PROFILES
9	WATER & SEWER DETAILS



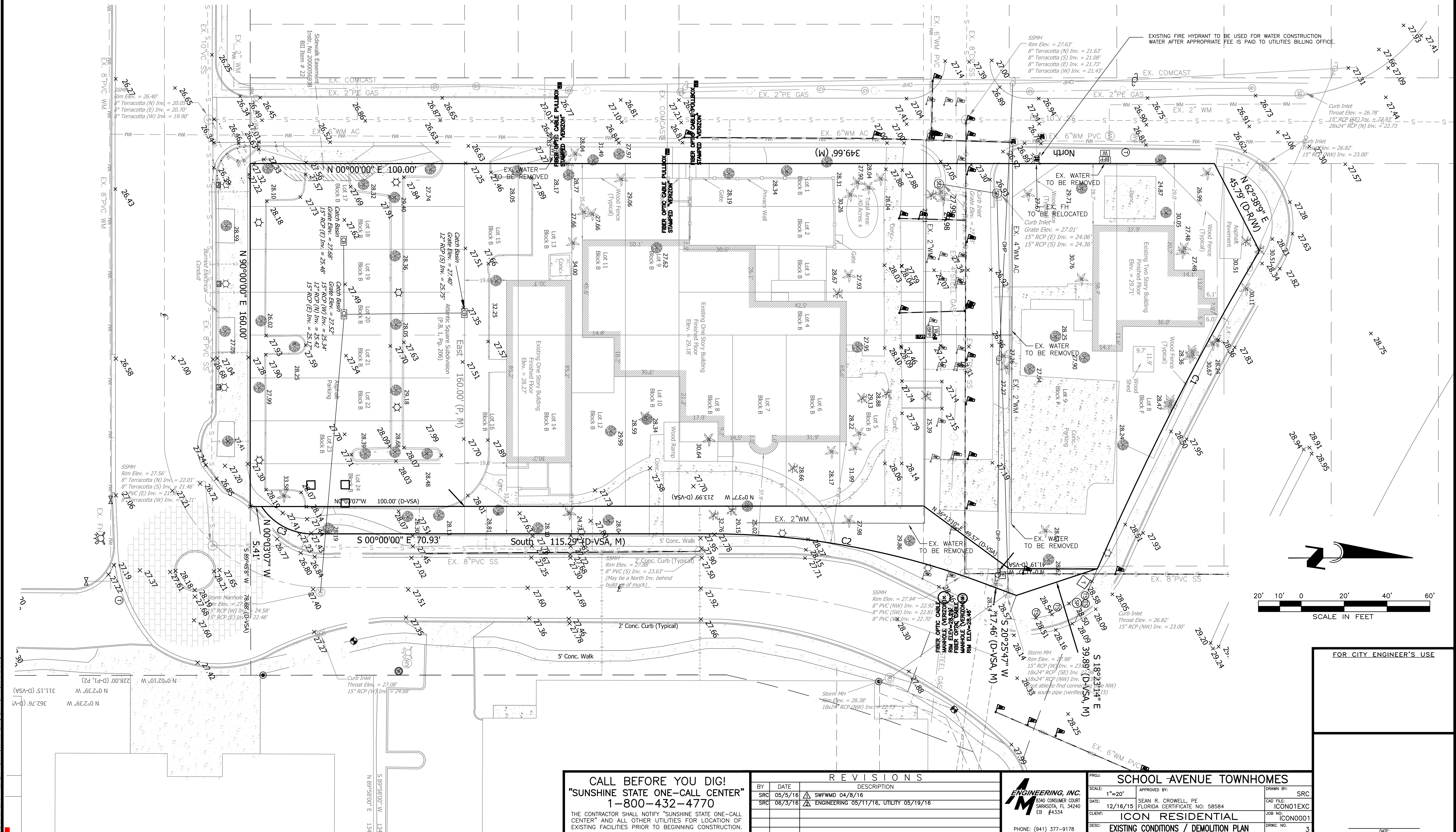
PART 1:
LOTS 7, 8, AND 9, BLOCK F, AUDUBON PLACE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 22, LESS THAT PORTION DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 1737, PAGE 1581, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA;
AND
PART 2:
LOTS 1 THROUGH 16, BLOCK B, ATLANTIC SQUARE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 206 OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA;
TOGETHER WITH THAT PORTION OF VACATED SCHOOL AVENUE DESCRIBED AS RIGHT OF WAY RECORDATION PARCEL NO. 2 IN ORDINANCE NO. 98-4090 RECORDED JANUARY 19, 1999 IN OFFICIAL RECORDS INSTRUMENT #11999102291, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING ADJACENT THERETO, BEING DESCRIBED AS FOLLOWS:
COMMENCE AT A 4" X 4" CONCRETE MONUMENT FOUND AT THE SOUTHWEST CORNER OF LOT 1, BOULEVARD CENTER SUBDIVISION, RECORDED IN PLAT BOOK 8, PAGE 108, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF RINGLING BOULEVARD, N 89 DEG. 57'14.00", 172.80 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE, N 00 DEG 02'39"W, 305.50 FEET; THENCE S 89 DEG 45'08"W, 78.68 FEET, TO A 4"x4" CONCRETE MONUMENT WITH DISK STAMPED PR #1195, FOUND AT THE SOUTHEAST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE WESTERLY RIGHT OF WAY LINE OF SCHOOL AVENUE, N 00 DEG 03'07"W, 100.00 FEET, TO THE POINT OF BEGINNING OF LAND BEING DESCRIBED;
THENCE CONTINUE ALONG SAID WESTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE, N 00 DEG 03'07"W, 213.99 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED AN EINGY LB 4334 FOUND AT THE NORTHEAST CORNER OF LOT 5, BLOCK "B", OF SAID ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 8, PAGE 108, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF SAID "B", PAGE 22, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE EAST LINE OF SAID "B", RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE S 18 DEG 23'14"E, 38.89 FEET TO THE POINT OF BEGINNING OF THE RIGHT OF WAY OF PARCEL 141; RIGHT OF WAY TAKING FOR STATE ROAD NO. 780 (SECTION 17040-2517), RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE S 18 DEG 23'14"E, 38.89 FEET; THENCE S 20 DEG 25'47"W, 17.46 FEET TO THE BEGINNING OF A TANGENTIAL CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 300 FEET AND A DELTA ANGLE OF 20 DEGREES WHOS CHORD BEARS S 1 DEG 00'00"W, 17.46 FEET; THENCE ALONG SAID CURVE SOUTHERLY AND COURSE CLOCK WISE, 128.36 FEET, TO THE POINT OF BEGINNING OF THE TANGENTIAL CURVE, SOUTH 115.29 FEET; THENCE WEST, 12.80 FEET, TO THE POINT OF BEGINNING.
AND ALSO TOGETHER WITH VACATED FIRST STREET AS DESCRIBED IN ORDINANCE NO. 91-3521 RECORDED FEBRUARY 27, 1992 IN OFFICIAL RECORDS BOOK 2, PAGE 2684, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.
PART 3:
LOTS 17-24, INCLUSIVE, BLOCK B, ATLANTIC SQUARE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA.
TOGETHER WITH THAT PORTION OF VACATED SCHOOL AVENUE LYING IN SECTION 20, TOWNSHIP 36 SOUTH, RANGE 18 EAST, SARASOTA COUNTY, FLORIDA, AS DESCRIBED IN ORDINANCE NO. 98-4090, AS RECORDED IN OFFICIAL RECORDS INSTRUMENT #1199801042, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING ADJACENT THERETO, BEING DESCRIBED AS FOLLOWS:
COMMENCE AT A 4" X 4" CONCRETE MONUMENT FOUND AT THE SOUTHWEST CORNER OF LOT 1, BOULEVARD CENTER SUBDIVISION, RECORDED IN PLAT BOOK 8, PAGE 108, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF RINGLING BOULEVARD, N 89 DEG. 57'14.00", 172.80 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE, N 00 DEG 02'39"W, 305.50 FEET; THENCE S 89 DEG 45'08"W, 78.68 FEET, TO A 4"x4" CONCRETE MONUMENT WITH DISK STAMPED PR #1195, FOUND AT THE SOUTHEAST CORNER OF LOT 24, BLOCK "B", ATLANTIC SQUARE SUBDIVISION, RECORDED IN PLAT BOOK 1, PAGE 206, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE ALONG THE WESTERLY RIGHT OF WAY LINE OF SCHOOL AVENUE, N 00 DEG 03'07"W, 5.41 FEET, TO THE POINT OF BEGINNING OF LAND BEING DESCRIBED;
THENCE CONTINUE ALONG SAID WESTERLY RIGHT OF WAY LINE OF SAID SCHOOL AVENUE, N 00 DEG 03'07"W, 94.59 FEET TO THE NORTHEAST CORNER OF SAID LOT 24, BLOCK "B"; THENCE RUN EAST, 12.80 FEET; THENCE RUN SOUTH 70.94 FEET TO THE BEGINNING OF A TANGENTIAL CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 300 FEET AND A DELTA ANGLE OF 54 DEG. 49'17"; WHOS CHORD BEARS S 27

[illegible]

SEAN R. CROWELL
DATE _____
FLORIDA P.E. No. 58584

FOR CITY ENGINEER'S USE ONLY

CITY OF SARASOTA UTILITY NOTES:
OWNER WILL CAP UNUSED WATER AND SEWER SERVICES SERVING THIS SITE AT THE CITY MAIN.
THEY SHALL BE ABANDONED AND GROUT FILLED OR REMOVED.
ABANDONMENT OF UTILITIES AND OR INSTALLATION OF PROPOSED UTILITIES LOCATED IN THE R/W
WILL BE ACCOMPLISHED BY THE OWNER THROUGH THE ISSUANCE OF A R/W USE AND UTILITY
CONSTRUCTION PERMIT.
THE VALVES LOCATED ON AUDUBON PLACE FOR THE 2" AND 4" WATER MAINS FEEDING THIS
PROJECT NEED TO BE TURNED OFF. THIS ACTION NEEDS TO BE COORDINATED WITH THE COSU
UTILITIES DEPARTMENT. CONTACT IRA JENKINS AT IRA.JENKINS@SARASOTAGOV.COM
THE EXISTING WATER METERS CANNOT BE REMOVED AND CURB STOPS TURNED OFF BEFORE THE
UTILITIES DEPARTMENT IS CONTACTED.



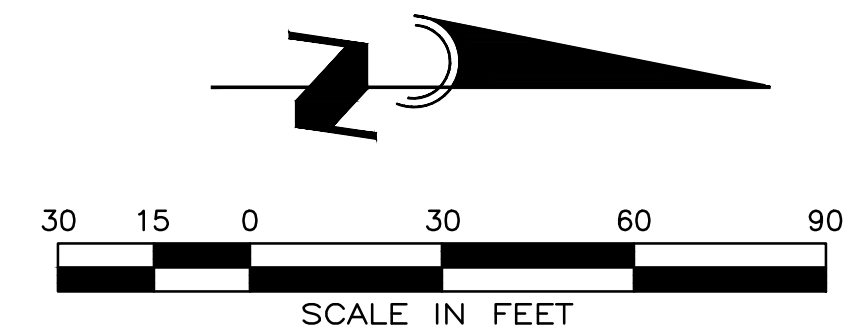
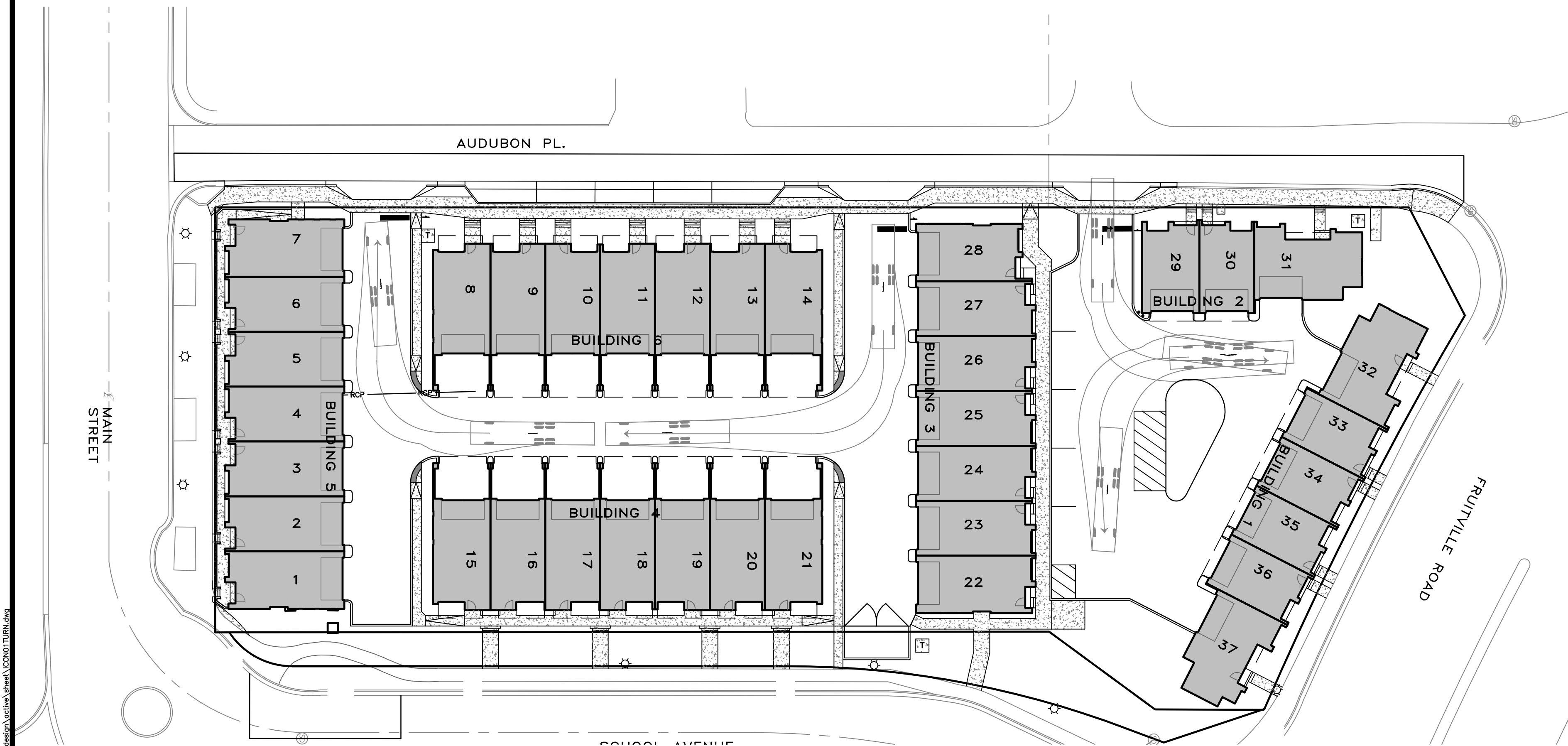
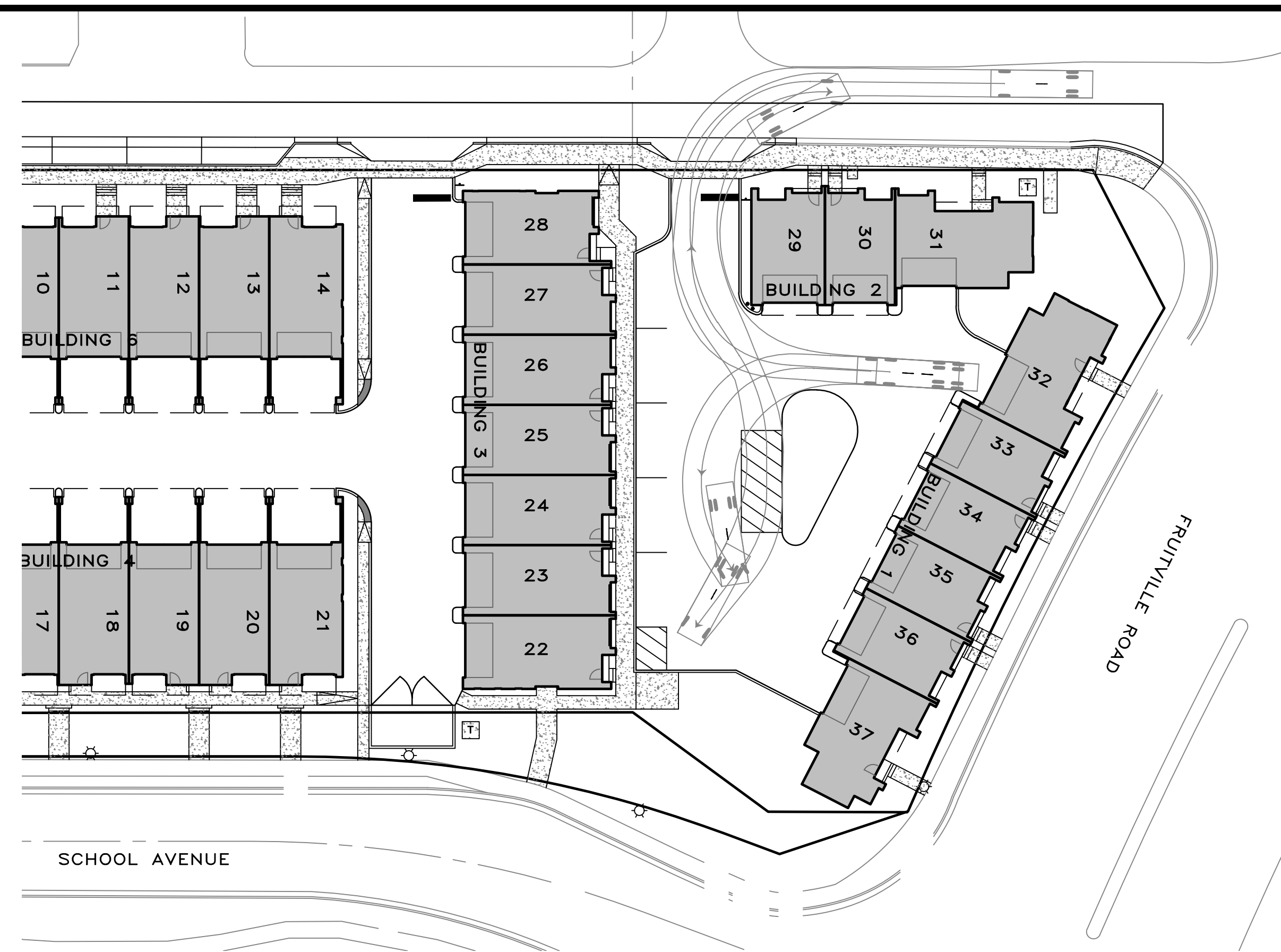
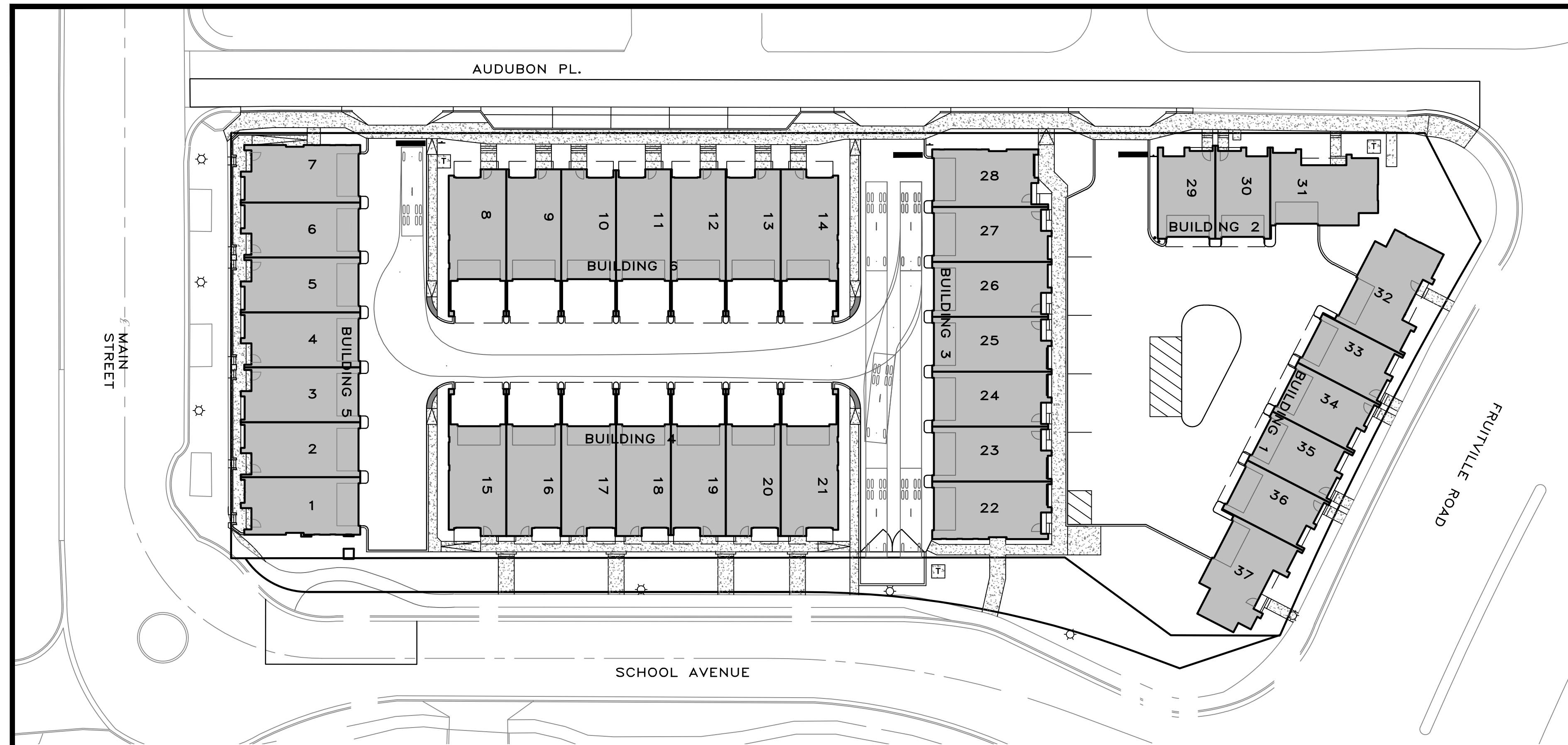
CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFWM 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

SCHOOL AVENUE TOWNHOMES		
SCALE: 1"=20'	APPROVED BY: SEAN R. CROWELL, PE	DRAWN BY: SRC
DATE: 12/16/15	FLORIDA CERTIFICATE NO: 58584	CAD FILE: ICON01EXC
CLIENT: ICON RESIDENTIAL	JOB NO: #4334	JOB NO: #4334
DESC: EXISTING CONDITIONS / DEMOLITION PLAN	DRWG. NO. 3	DATE:

FOR CITY ENGINEER'S USE



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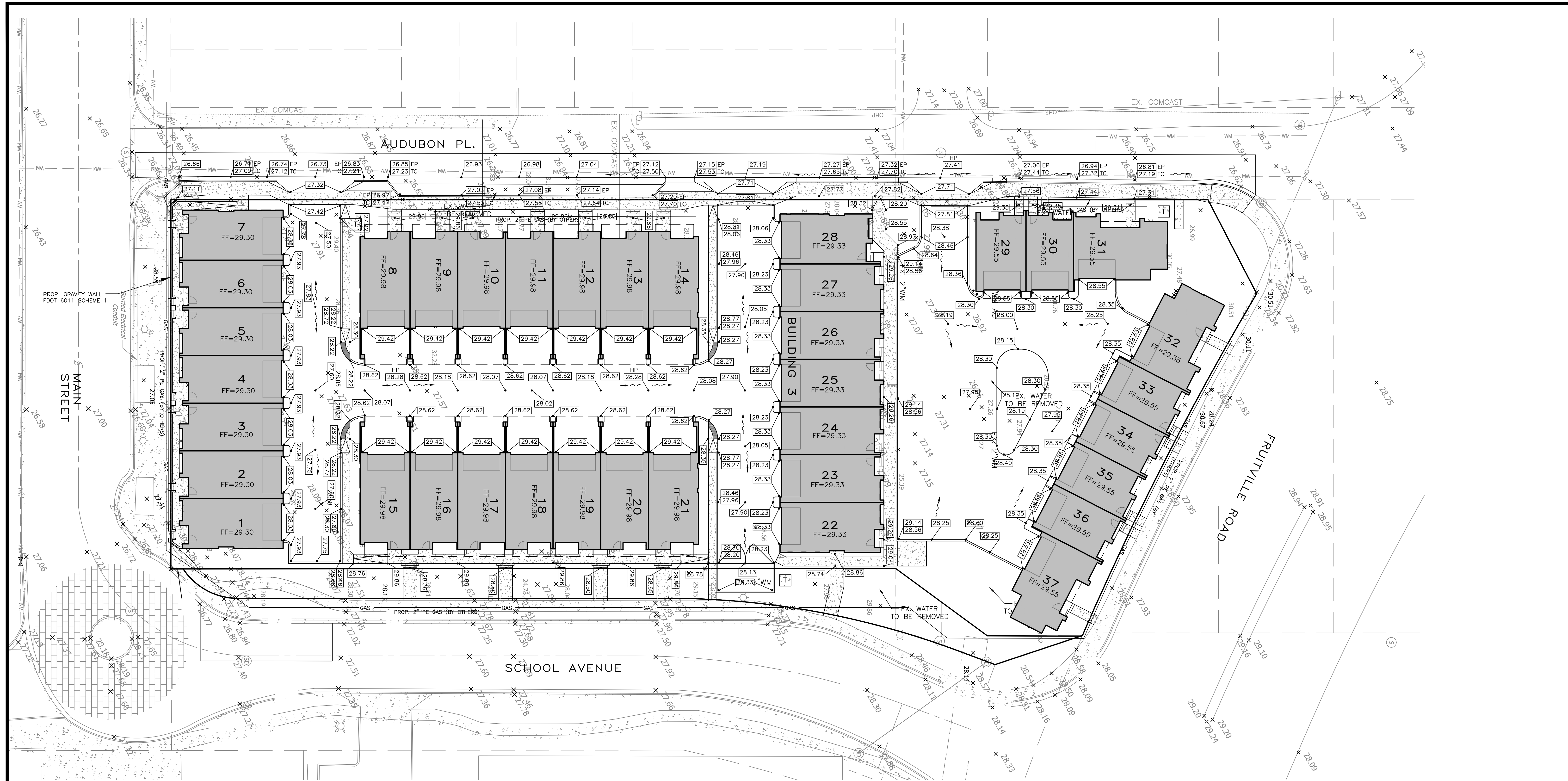
CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFWMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

PROJ:	SCHOOL AVENUE TOWNHOMES	
SCALE:	1"=30'	APPROVED BY:
DATE:	12/16/15	SEAN R. CROWELL, PE FLORIDA CERTIFICATE NO: 58584
CLIENT:	ICON RESIDENTIAL	
DESC:	TRUCK TURN TEMPLATES	

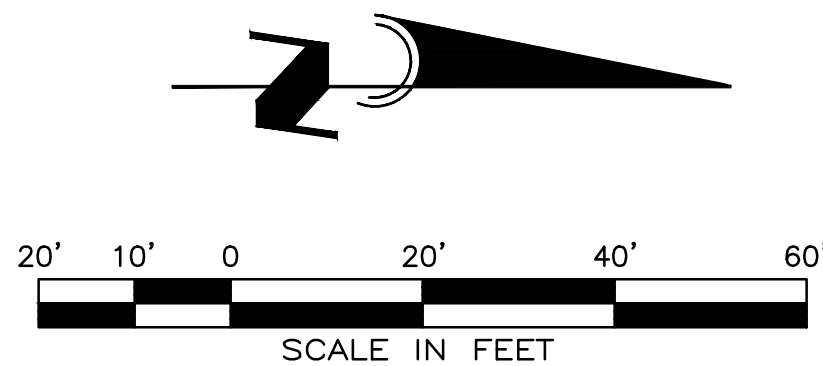
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CAD FILE:	ICON01TURN
JOB NO:	ICON0001
DRWG. NO.	4A
DATE:	



THE CONTRACTOR SHALL MILL, REGRADE (AS REQUIRED) AND RESURFACE 10 FEET FROM CURB TO PROVIDE THE PROPOSED ELEVATIONS AS ILLUSTRATED ON THIS PLAN ON AUDUBON PL.

THE FRONT EDGE OF THE CURB SHALL BE STRAIGHT AND LEVEL AND IF REQUIRED THE STREET MAY NEED TO BE MILLED AND OVERLAID TO INSURE THE PAVEMENT HAS A POSITIVE SLOPE AWAY FROM THE CROWN OF THE ROAD TO THE CURB FLOW LINE. THE PAVEMENT RESTORATION SHALL BE A REASONABLY UNIFORM TEXTURE WITH NO DEVIATE IN EXCESS OF 1/4 INCH WITH A STRAIGHTEDGE APPLIED TO THE PAVEMENT PERPENDICULAR TO THE CENTERLINE AND IF REQUIRED A PORTION OF THE PAVEMENT SHALL BE MILLED AND RESURFACED.

PIPE JOINTS AND CONNECTIONS SHALL BE WRAPPED WITH FILTER FABRIC 12 INCHES ON EITHER SIDE OF JOINT AND OVERLAPPED BY 2 FT. PIPE CONNECTIONS TO INLETS OR JUNCTION BOXES JOINTS GREATER THAN 2-1/2 INCHES SHALL BE FILLED WITH BRICKS PRIOR TO GROUTING THE JOINT. THE OUTSIDE CONNECTION POINT SHALL HAVE A BITUMINOUS COATING ON THE STRUCTURE AND PIPE THEN FILTER FABRIC WRAPPED 12 INCHES ON EITHER SIDE OF THE GROUTED JOINT TO STRUCTURE JOINT.



ROOF DRAINAGE:
ALL DOWNSPOUT SHALL DISCHARGE TO THE ONSITE PAVEMENT SO THAT ROOF RUNOFF DRAINS TO THE STORMWATER MANAGEMENT SYSTEM.

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770

THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

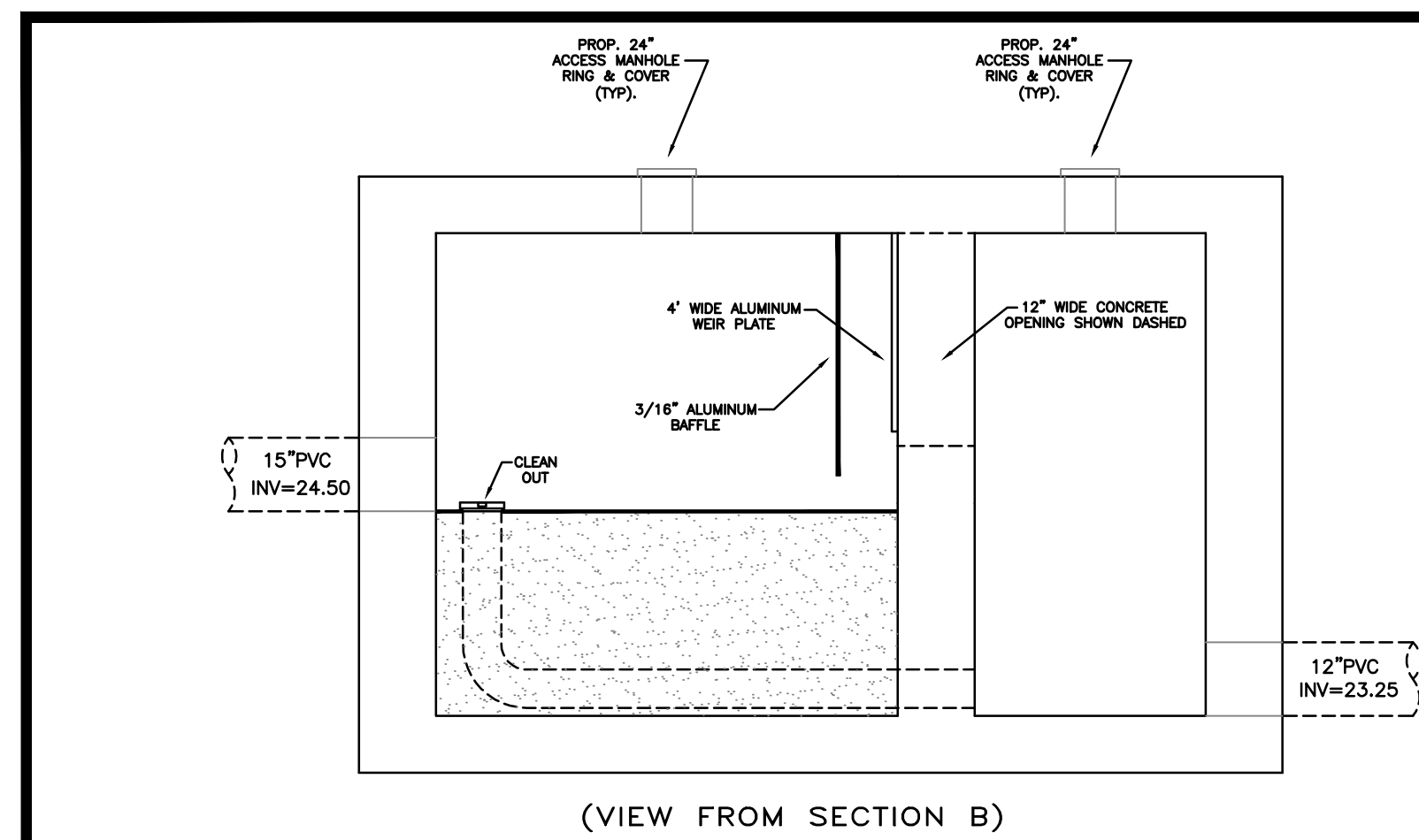
REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/13/16	STORMTRAP COORDINATION
SRC	06/3/16	UTILITY 06/29/16

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

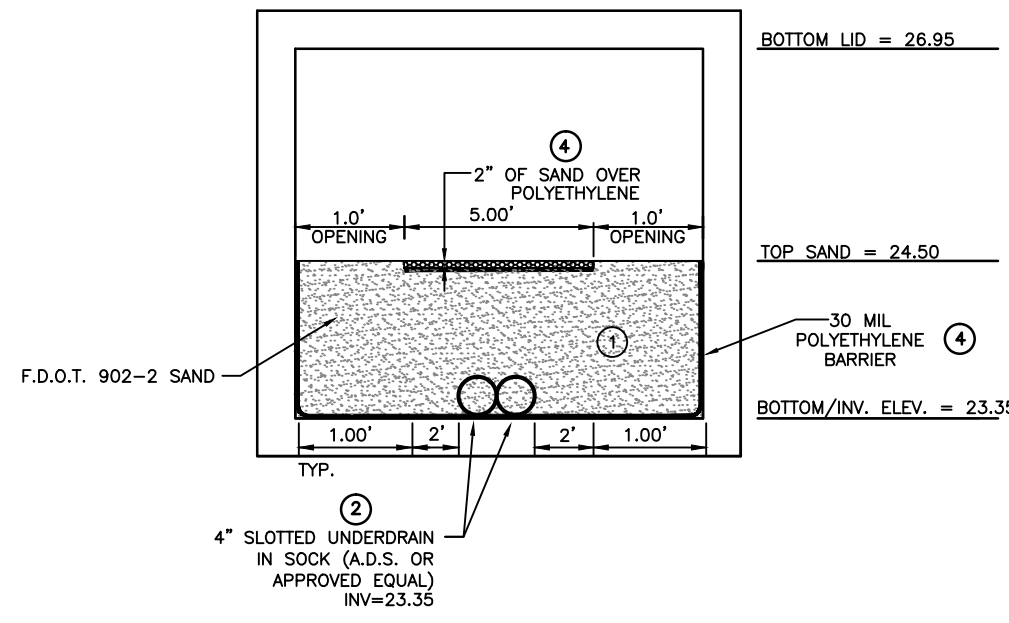
SCHOOL AVENUE TOWNHOMES			
SCALE: 1"=20'	APPROVED BY:	SEAN R. CROWELL, PE	FLORIDA CERTIFICATE NO: 58584
DATE: 12/16/15	CLIENT:	ICON RESIDENTIAL	JOB NO: ICON0001
DESC: PAVING, GRADING & DRAINAGE PLAN	DRWG. NO.	5	

FOR CITY ENGINEER'S USE

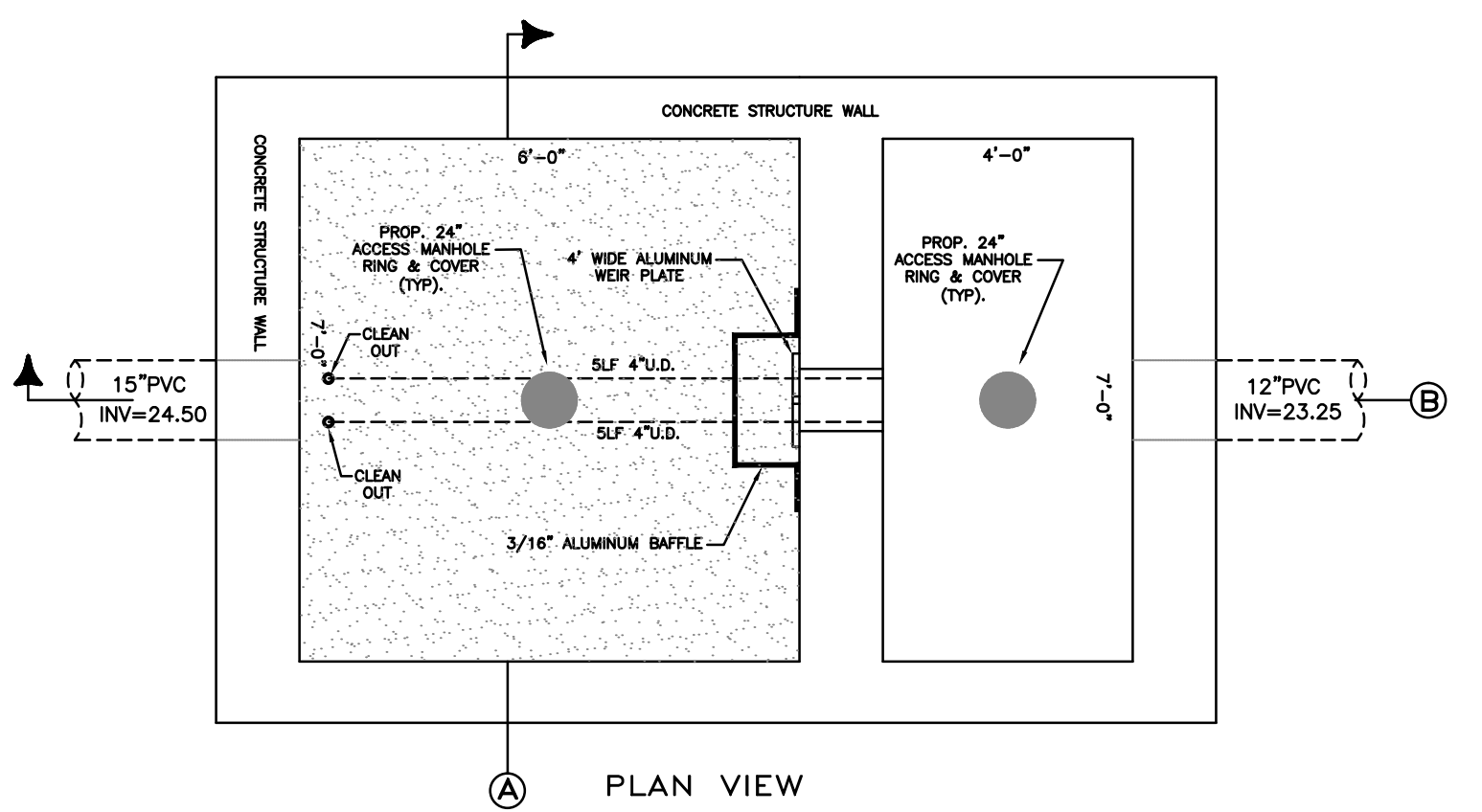
DATE:



(VIEW FROM SECTION B)



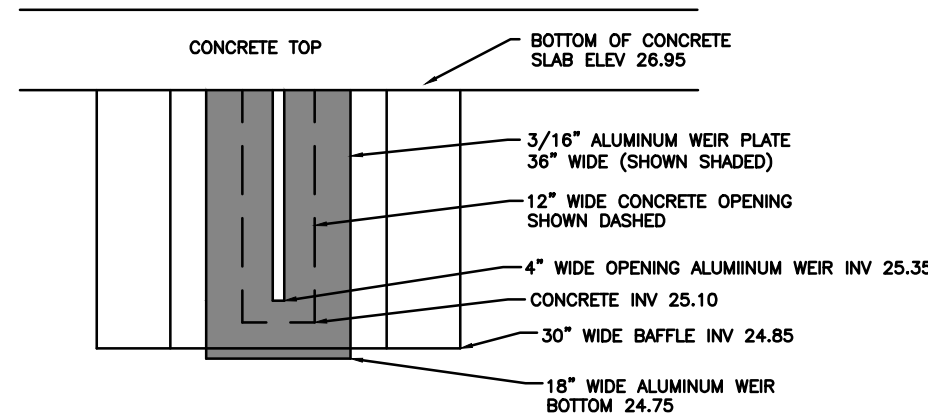
(VIEW FROM SECTION A)



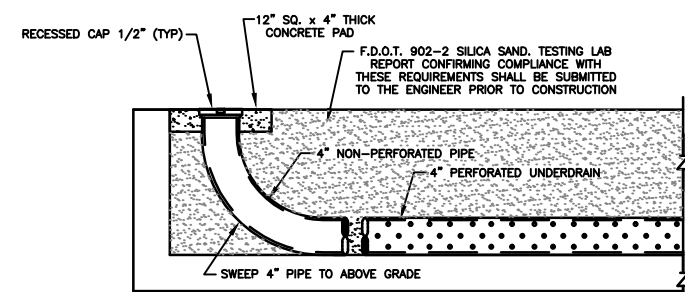
PLAN VIEW

NORTH VAULT PROPOSED REINFORCED CONCRETE STORMWATER CONTROL STRUCTURE/TREATMENT VAULT

- (1) FOR FINAL DESIGN OF PRECAST SLABS, VAULT WALLS, FOOTINGS, BOTTOM SLAB AND REINFORCEMENT SEE STRUCTURAL PLANS BY OTHERS.
- (2) EXTERIOR OF STORMWATER VAULT SHALL BE PROVIDED WITH A WATERPROOF SEALANT AS SPECIFIED BY THE STRUCTURAL ENGINEER.
- (3) STORM WATER VAULT SHALL BE DESIGNED TO SUSTAIN A MINIMUM H2O LIVE LOAD. STRUCTURAL ENGINEER TO VERIFY WITH ARCHITECT EXPECTED LIVE LOAD FOR DESIGN CONDITIONS.
- (4) VOLUME = 3,455 CUBIC FEET



OUTLET WEIR DETAIL (VAULT 1)
N.T.S.



4" UNDERDRAIN CLEANOUT DETAIL

N.T.S.

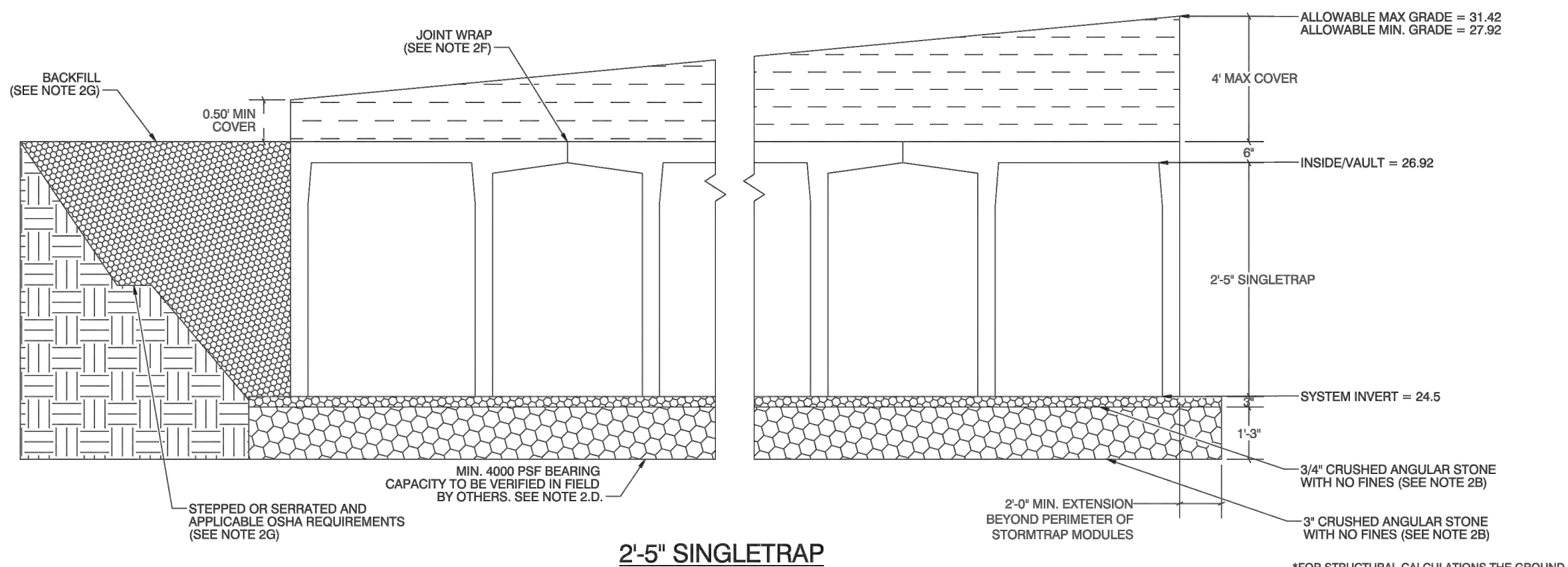
UNDERDRAIN NOTES

- (1) FILTER AGGREGATE FOR UNDERDRAIN SHALL CONSIST OF WASHED MATERIAL MEETING FOOT ROAD & BRIDGE SPECIFICATIONS FOR SILICA SAND & QUARTZ GRAVEL CONTAINING LESS THAN 1% (BY WEIGHT) OF FLAT, CLAY AND ORGANIC MATTER. SAND MATERIAL SHALL HAVE UNIFORMITY COEFFICIENT OF 1.5 OR GREATER. AN EFFECTIVE GRAIN SIZE OF 0.075 - 0.05 MILLIMETER AND SIEVE ANALYSIS (IN PERCENT OF TOTAL WEIGHT PASSING) AS FOLLOWS:

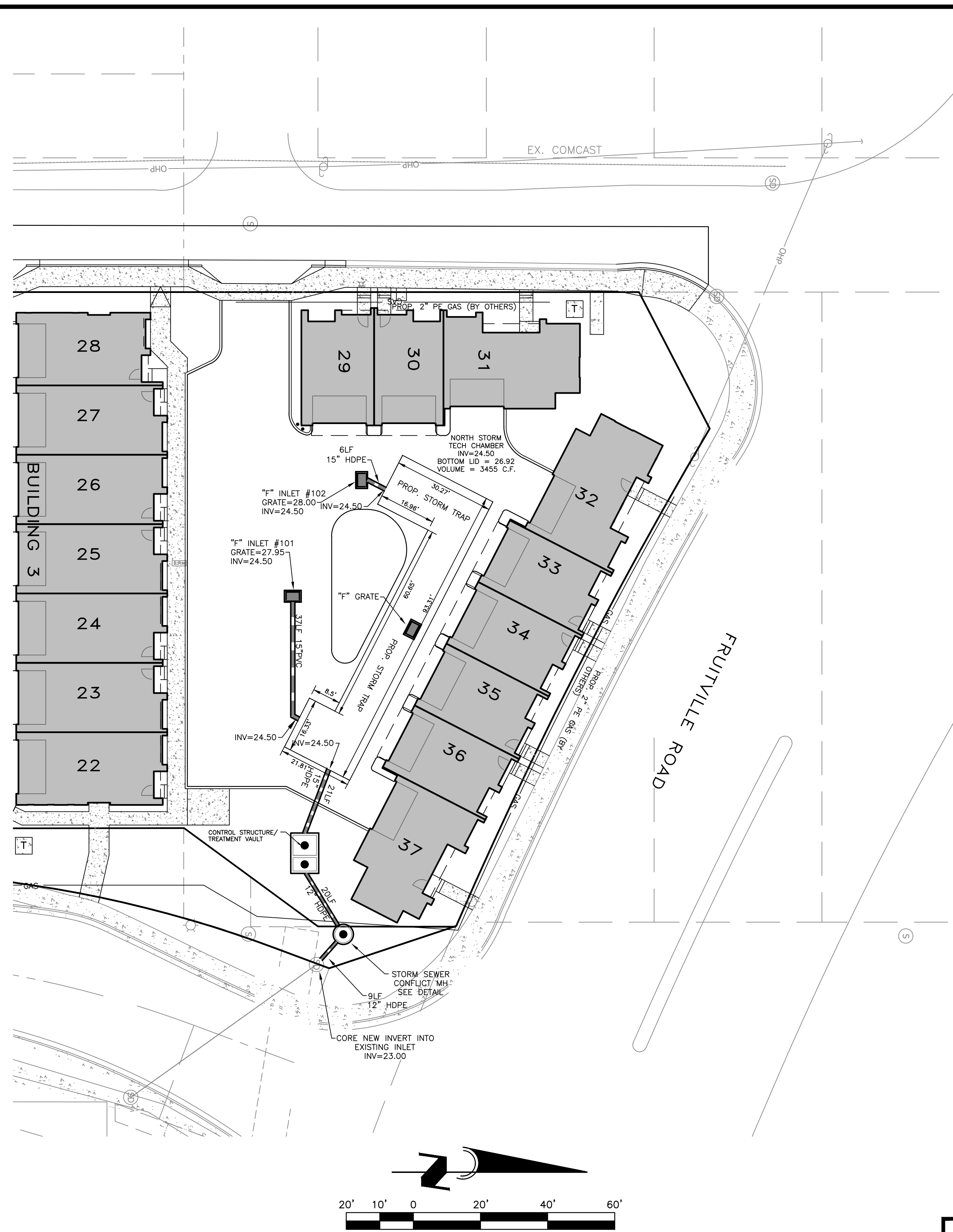
3/8" - 95 - 100%	NO.30 - 25 - 70%
NO.4 - 95 - 100%	NO.50 - 5 - 30%
NO.8 - 95 - 100%	NO.100 - 0 - 7%
NO.16 - 95 - 97%	NO.200 - MAX - 2%
- (2) THE AGGREGATE SHALL BE FREE OF ORGANIC MATTER AND OTHER DELETERIOUS MATERIALS. WASHED SHALL A LAMPROCK SHALL NOT BE USED FOR FILTER AGGREGATE PERMANENTLY OF THE AGGREGATE SHALL BE 5.4 FT/HR MINIMUM.
- (3) THE UNDERDRAIN SHALL BE SLOTTED CORRUGATED POLYETHYLENE PIPE A.S.T.M. F-405-77 OR A.S.A.S.T.D. M-252 HAVING A MINIMUM SLOTTED AREA OF 1 SQ. IN/FT OF PIPE MANUFACTURED BY A.S.S. OR APPROVED EQUIVALENT. PIPE SHALL BE PERFORATED WITH FILTER FABRIC.
- (4) TESTING:
 THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIEVE ANALYSIS AND PERCOLATION TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY PRIOR TO BACKFILLING OPENING AS SHOWN ON DETAIL. OF THE FILTER AGGREGATE MATERIAL ON SITE. FAILURE TO MEET THE SPECIFIED PERMEABILITY OR SIEVE ANALYSIS WILL BE CAUSE FOR REJECTION OF THE MATERIAL.
- (5) 30 MIL POLYETHYLENE BARRIER OR APPROVED EQUIVALENT. LINE COMPLETE UNDERDRAIN

UNDERDRAIN DETAIL - VAULT

N.T.S.



NORTH STORM TRAP DETAIL
N.T.S.



- * TYPE "C" GRATES IN ACCORDANCE WITH FDOT INDEX NO. 232. CONTRACTOR TO PROVIDE TYPE "C" GRATES WITH PRECAST LIDS AND BOXES SIZED BASED ON SIZE AND ANGLE OF PIPES AT ALL INLETS.
- * ALL TYPE "C" GRATES SHALL BE U.S.F. STEEL GRATES, TRAFFIC BEARING (OR APPROVED EQUAL).
- * TYPE "F" GRATES IN ACCORDANCE WITH FDOT INDEX NO. 233. CONTRACTOR TO PROVIDE TYPE "D" GRATES WITH PRECAST LIDS AND BOXES SIZED BASED ON SIZE AND ANGLE OF PIPES AT ALL INLETS.
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- * ALL GRATES SHALL HAVE FILLER BARS PER FDOT INDEX 218 INSERT B.
- * YARD INLETS SHALL BE NYLOPLAST 15" INLINE DRAINS WITH PEDESTRIAN GRATES (OR APPROVED EQUAL
- * YARD INLETS SHALL HAVE A 12" CONCRETE COLLAR, 6" THICK AROUND INLET.
- * SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

Wed, 13 Jul 2016 - 6:23pm \\n\sectech\CON0001\Design\Section\Sheet\CON001VAULT.dwg

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770

THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/3/16	UTILITY 06/29/16

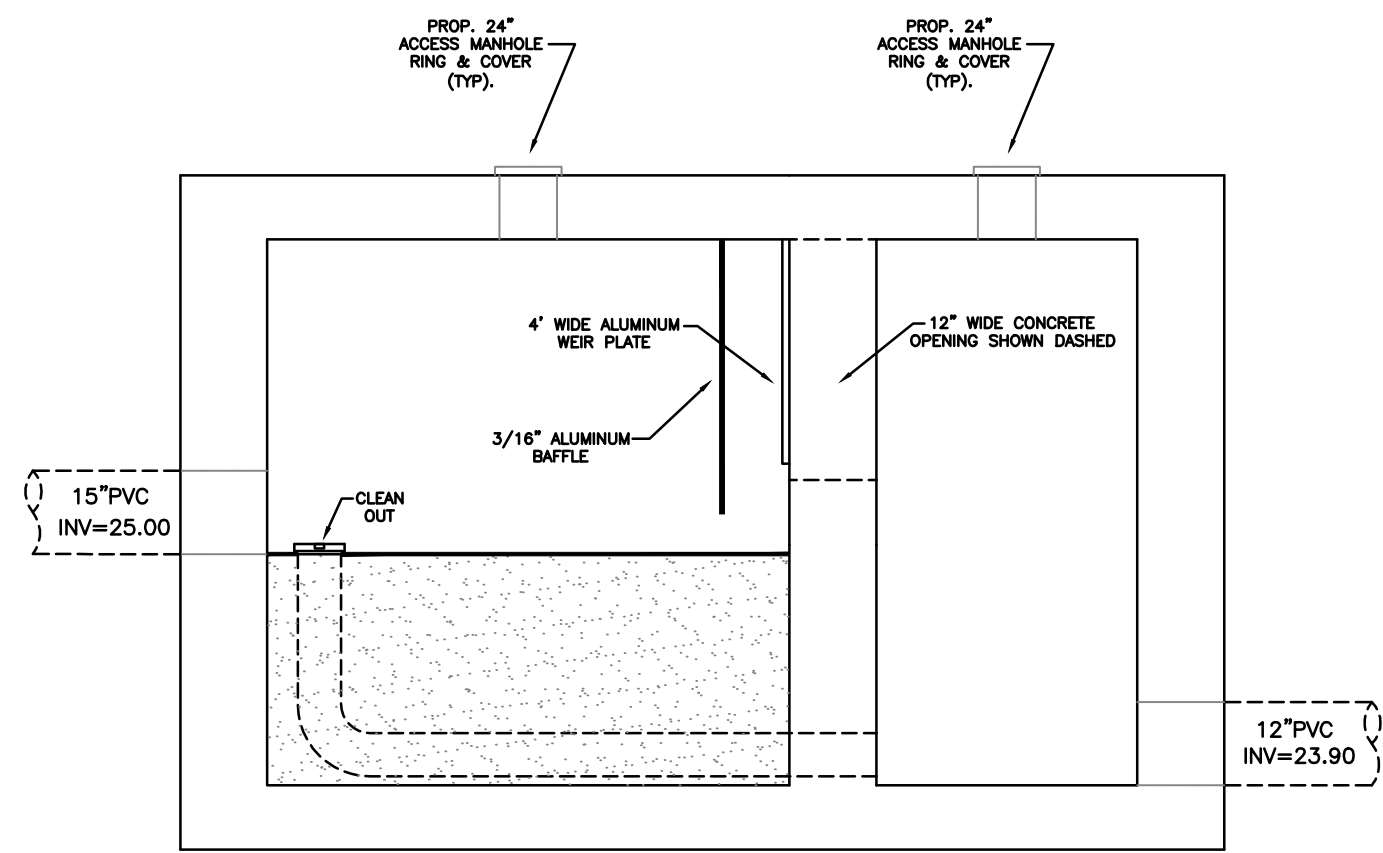
ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

PROJ:	SCHOOL AVENUE TOWNHOMES	
SCALE:	1"=20'	APPROVED BY:
DATE:	12/16/15	SEAN R. CROWELL, PE FLORIDA CERTIFICATE NO: 58584
CLIENT:	ICON RESIDENTIAL	
DESC:	NORTH STORM VAULT DETAILS	

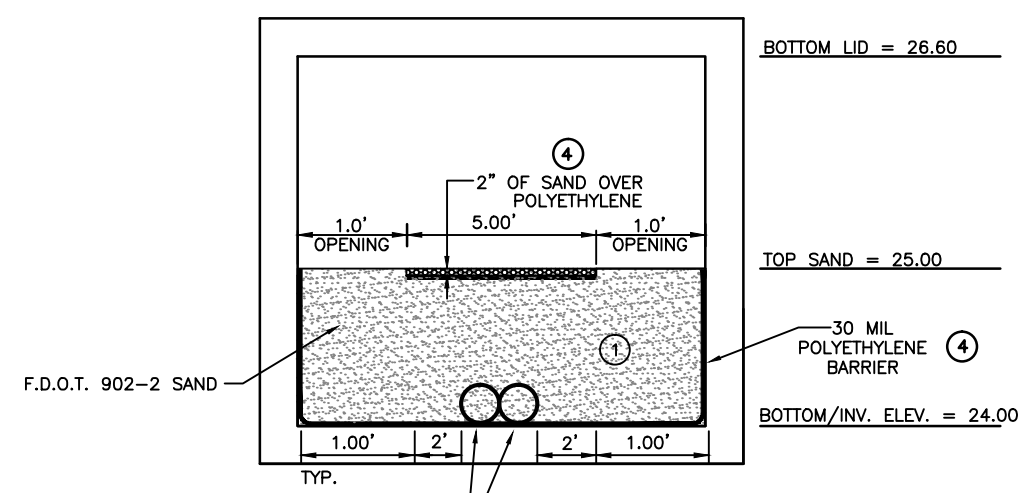
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CAD FILE: ICON01PGD
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DRWG. NO: 5A

FOR CITY ENGINEER'S USE

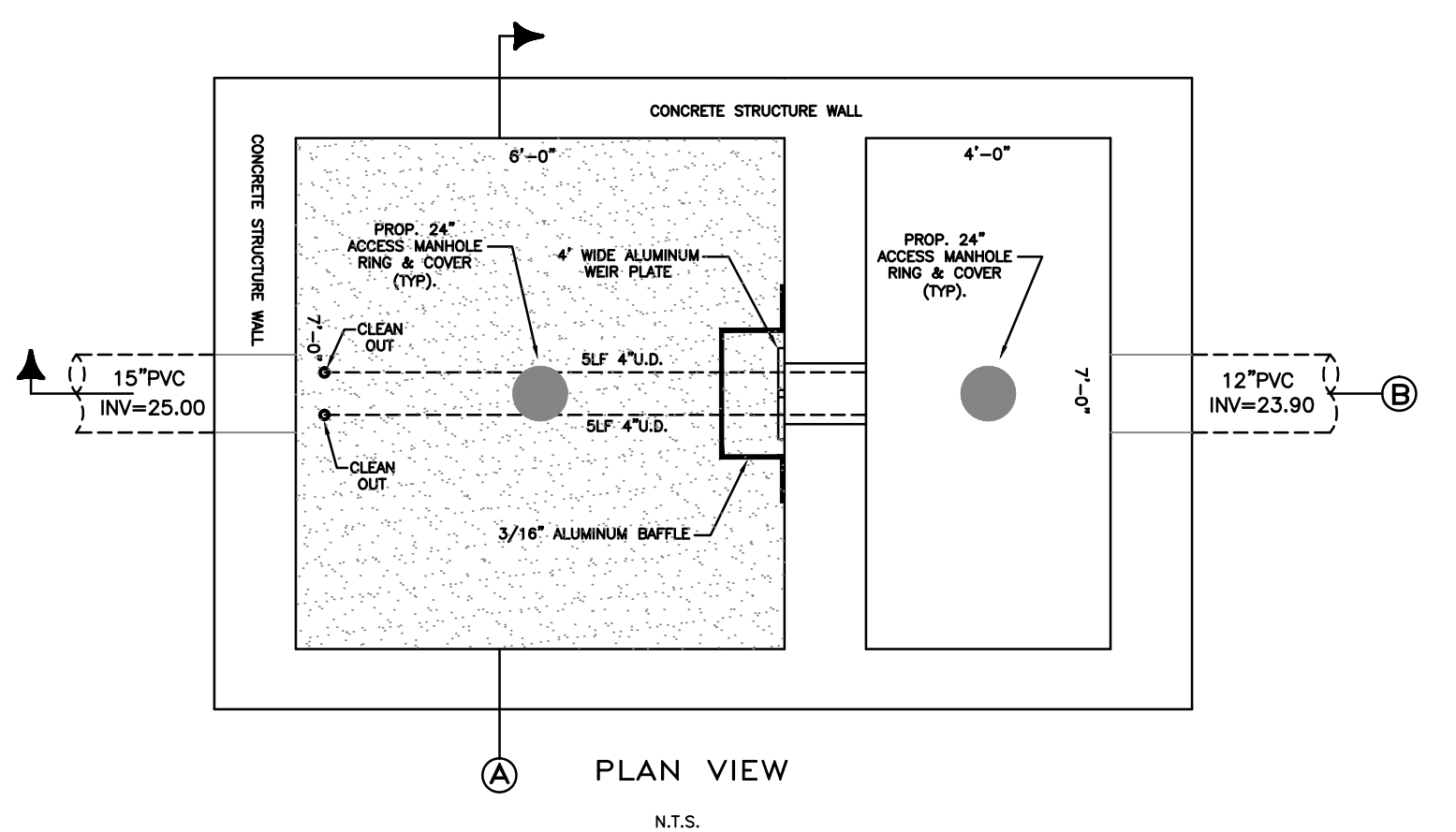
DATE:



(VIEW FROM SECTION B)



(VIEW FROM SECTION A)

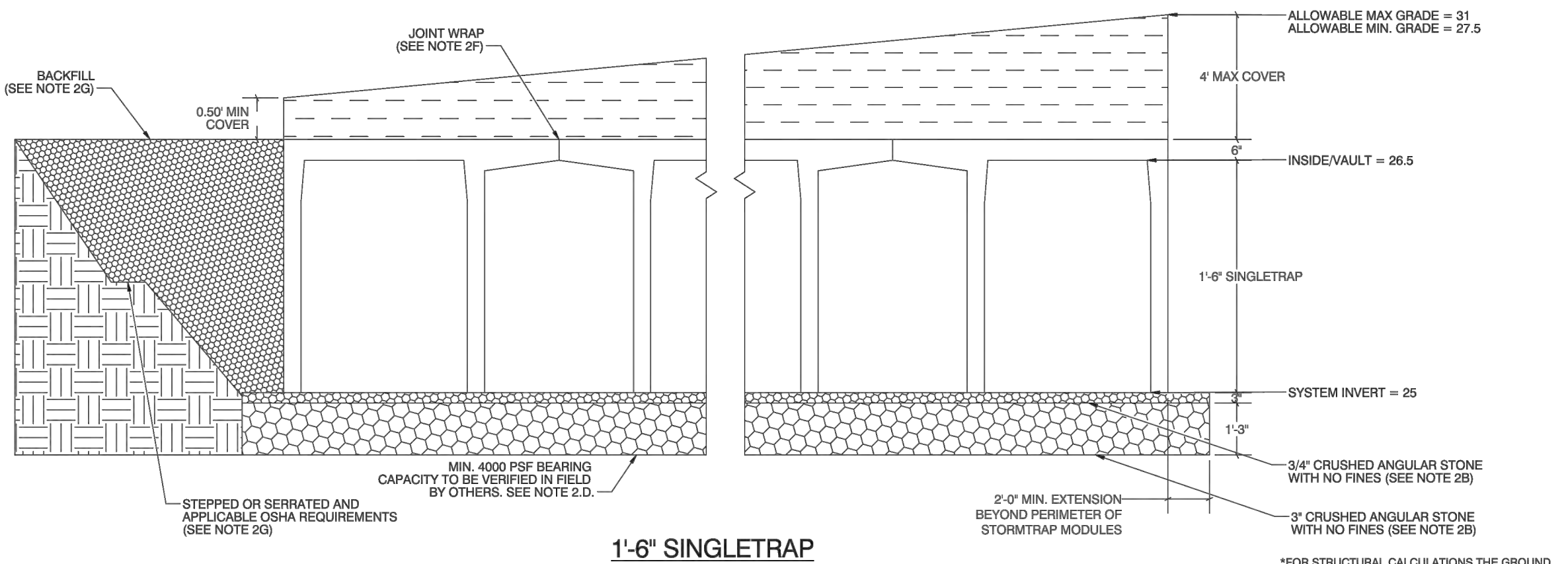


PLAN VIEW

N.T.S.

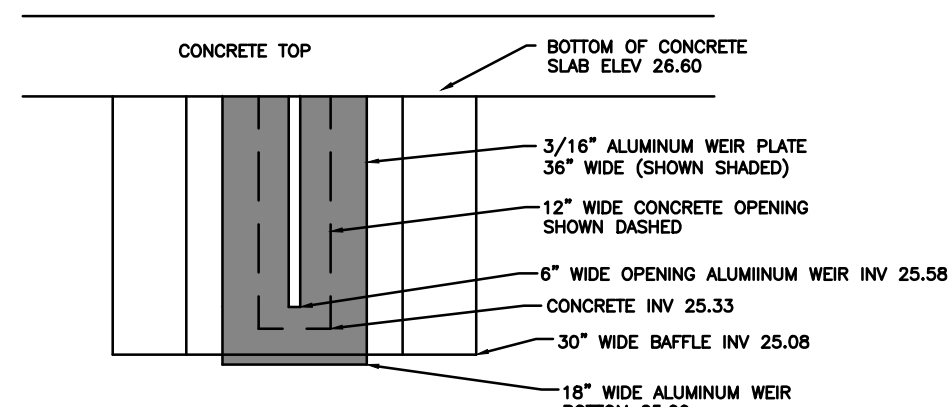
SOUTH VAULT PROPOSED REINFORCED CONCRETE STORMWATER CONTROL STRUCTURE/TREATMENT VAULT

- (1) FOR FINAL DESIGN OF PRECAST SLABS, VAULT WALLS, FOOTINGS, BOTTOM SLAB AND REINFORCEMENT SEE STRUCTURAL PLANS BY OTHERS.
- (2) EXTERIOR OF STORMWATER VAULT SHALL BE PROVIDED WITH A WATERPROOF SEALANT AS SPECIFIED BY THE STRUCTURAL ENGINEER.
- (3) STORM WATER VAULT SHALL BE DESIGNED TO SUSTAIN A MINIMUM H2O LIVE LOAD. STRUCTURAL ENGINEER TO VERIFY WITH ARCHITECT EXPECTED LIVE LOAD FOR DESIGN CONDITIONS.
- (4) VOLUME = 3,455 CUBIC FEET



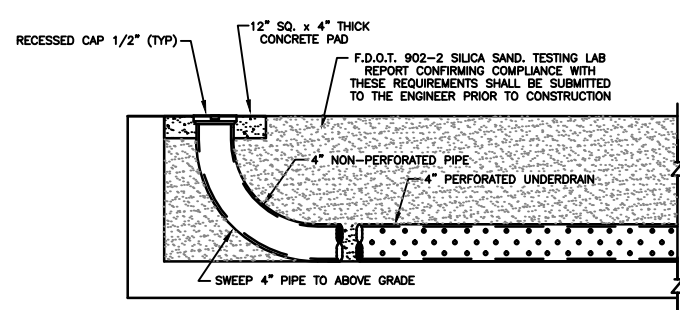
SOUTH STORM TRAP DETAIL

N.T.S.



OUTLET WEIR DETAIL (VAULT 1)

N.T.S.



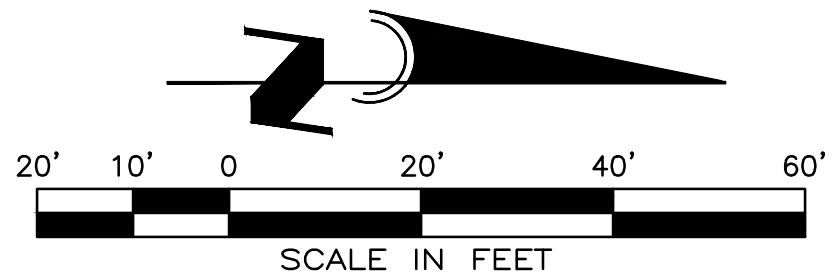
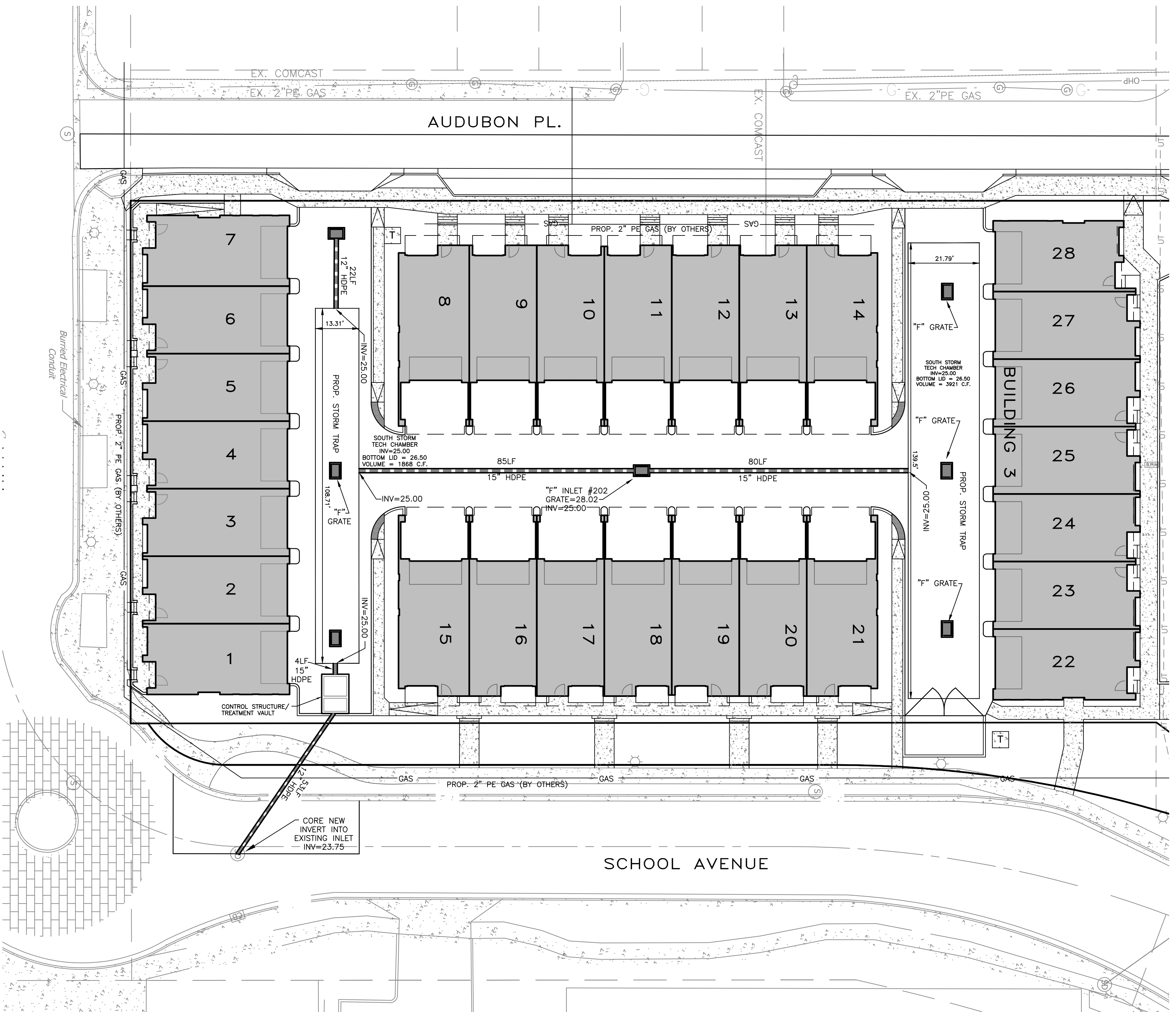
4\"/>

UNDERDRAIN NOTES

- (1) FILTER AGGREGATE FOR UNDERDRAIN SHALL CONSIST OF WASHED MATERIAL MEETING FOOT ROAD & BRIDGE SPECIFICATIONS FOR SILICA SAND & QUARTZ GRAVEL CONTAINING LESS THAN 1% (BY WEIGHT) OF SILT, CLAY AND ORGANIC MATTER. SAND MATERIAL SHALL HAVE UNIFORMITY COEFFICIENT OF 1.5 OR GREATER. AN EFFECTIVE GRAIN SIZE OF 0.075 - 0.08 MILLIMETER AND SIEVE ANALYSIS (IN PERCENT OF TOTAL WEIGHT PASSING) AS FOLLOWS:
3/4\"/>
- (2) THE UNDERDRAIN SHALL BE SLOTTED CORRUGATED POLYETHYLENE PIPE A.S.T.M. F-405-77 OR A.A.S.T.M. M-252 HAVING A MINIMUM SLOTTED AREA OF 1 SQ. IN/FT. OF PIPE MANUFACTURED BY A.D.S. OR APPROVED EQUIVALENT. PIPE SHALL BE PREWRAPPED WITH FILTER FABRIC.
- (3) TESTING:
THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIEVE ANALYSIS AND PERCOLATION TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY PRIOR TO DELIVERY OF THE FILTER AGGREGATE MATERIAL ON SITE. FAILURE TO MEET THE SPECIFIED PERMEABILITY OR SIEVE ANALYSIS WILL BE CAUSE FOR REJECTION OF THE MATERIAL.
- (4) 30 MIL POLYETHYLENE BARRIER OR APPROVED EQUIVALENT. LINE COMPLETE UNDERDRAIN LEAVING 3.0' OPENING AS SHOWN ON DETAIL.

UNDERDRAIN DETAIL - VAULT

N.T.S.

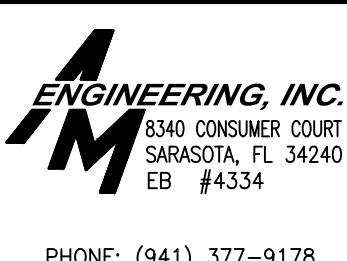


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- * ALL GRATES SHALL HAVE FILLER BARS PER FDOT INDEX 218 INSERT B.
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- * YARD INLETS SHALL HAVE A 12" CONCRETE COLLAR, 6" THICK AROUND INLET.
- * SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

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1-800-432-4770**

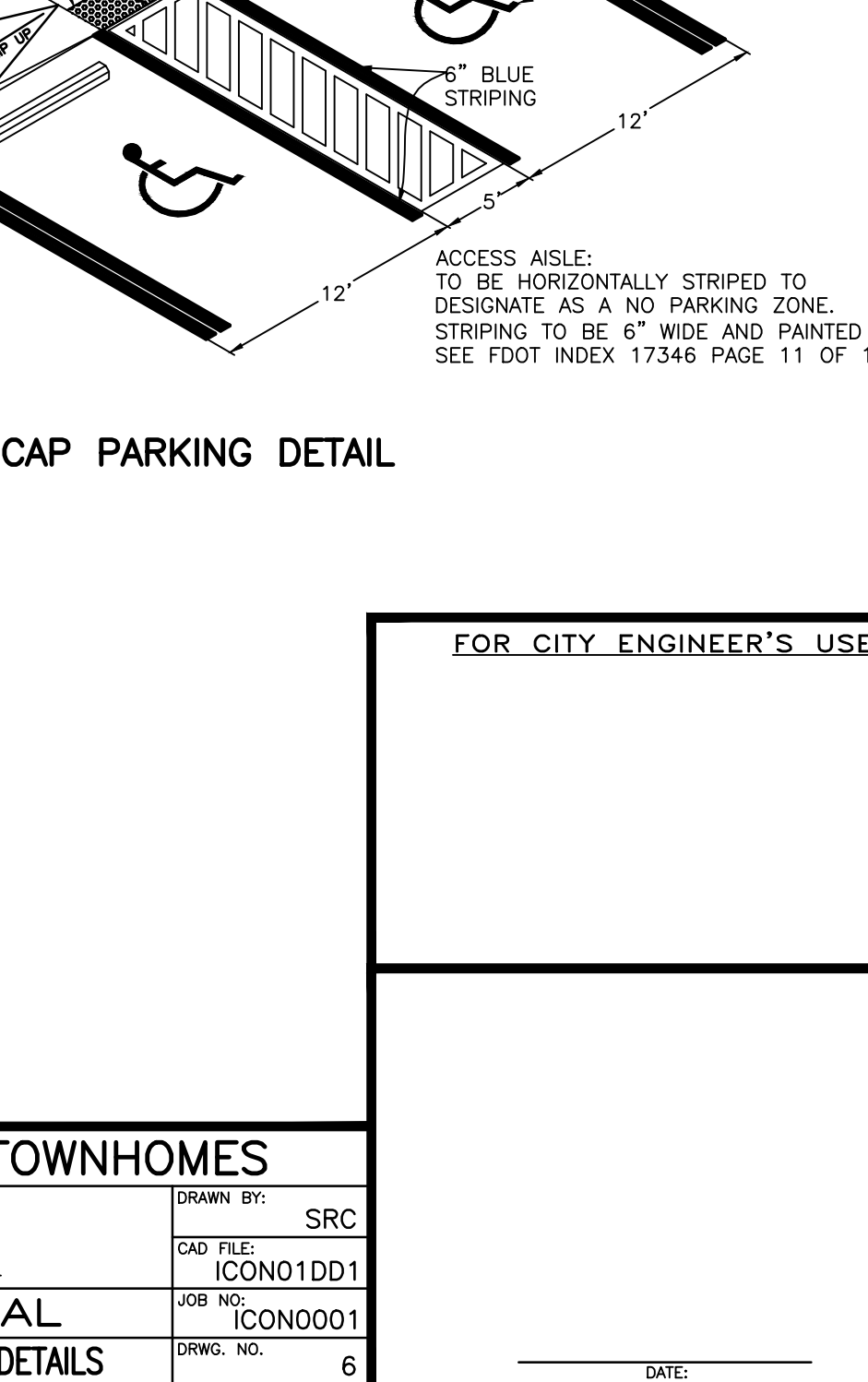
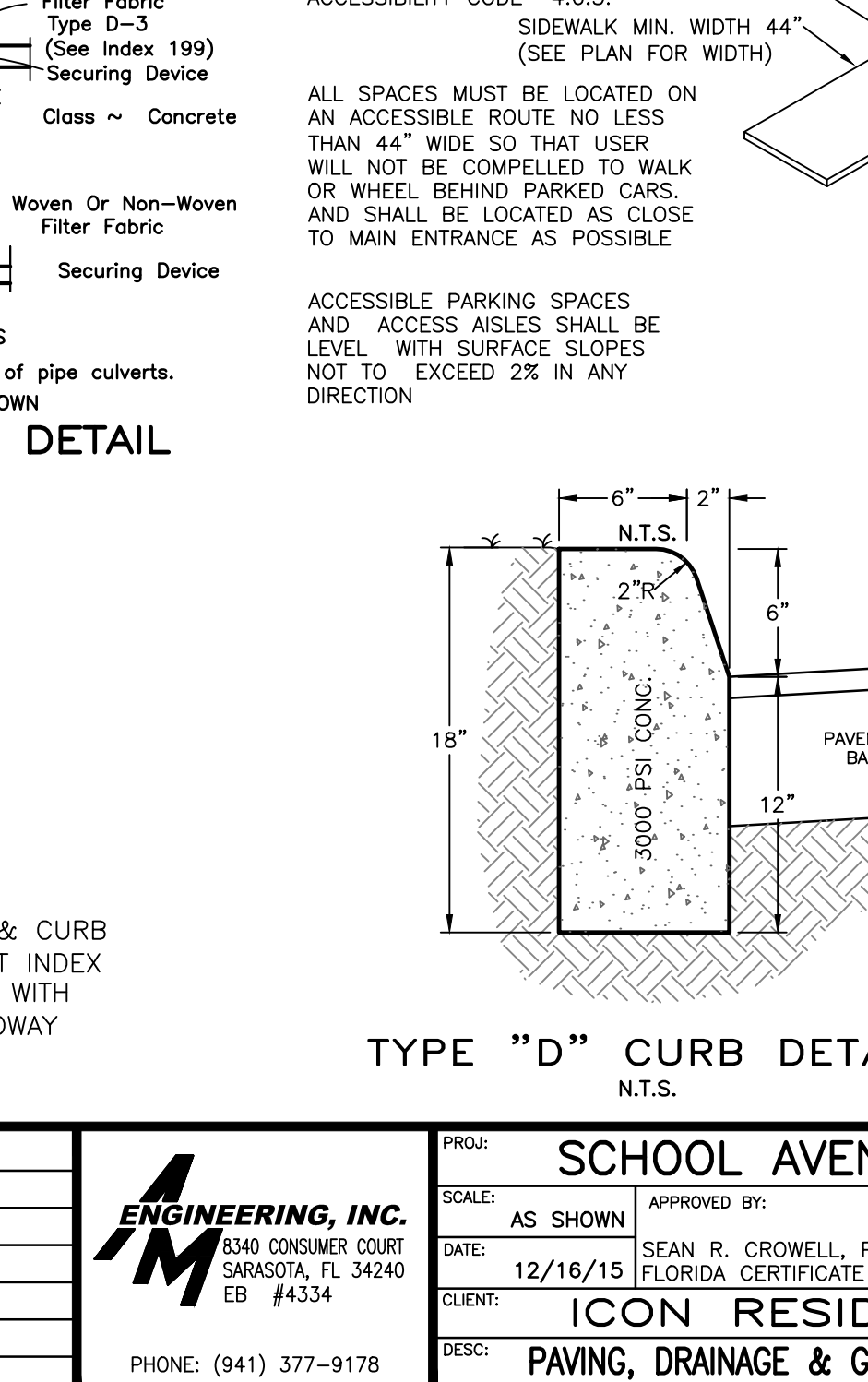
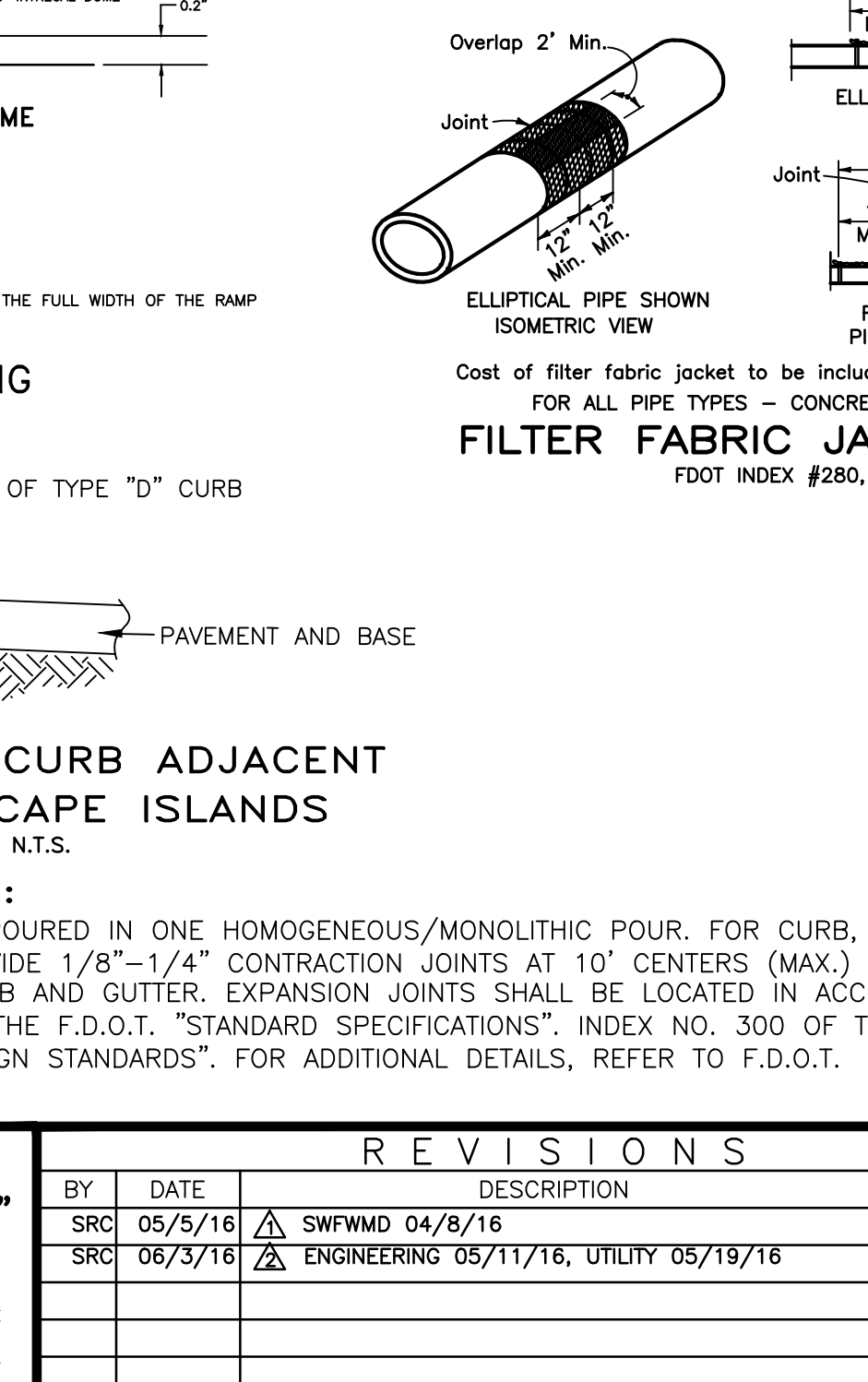
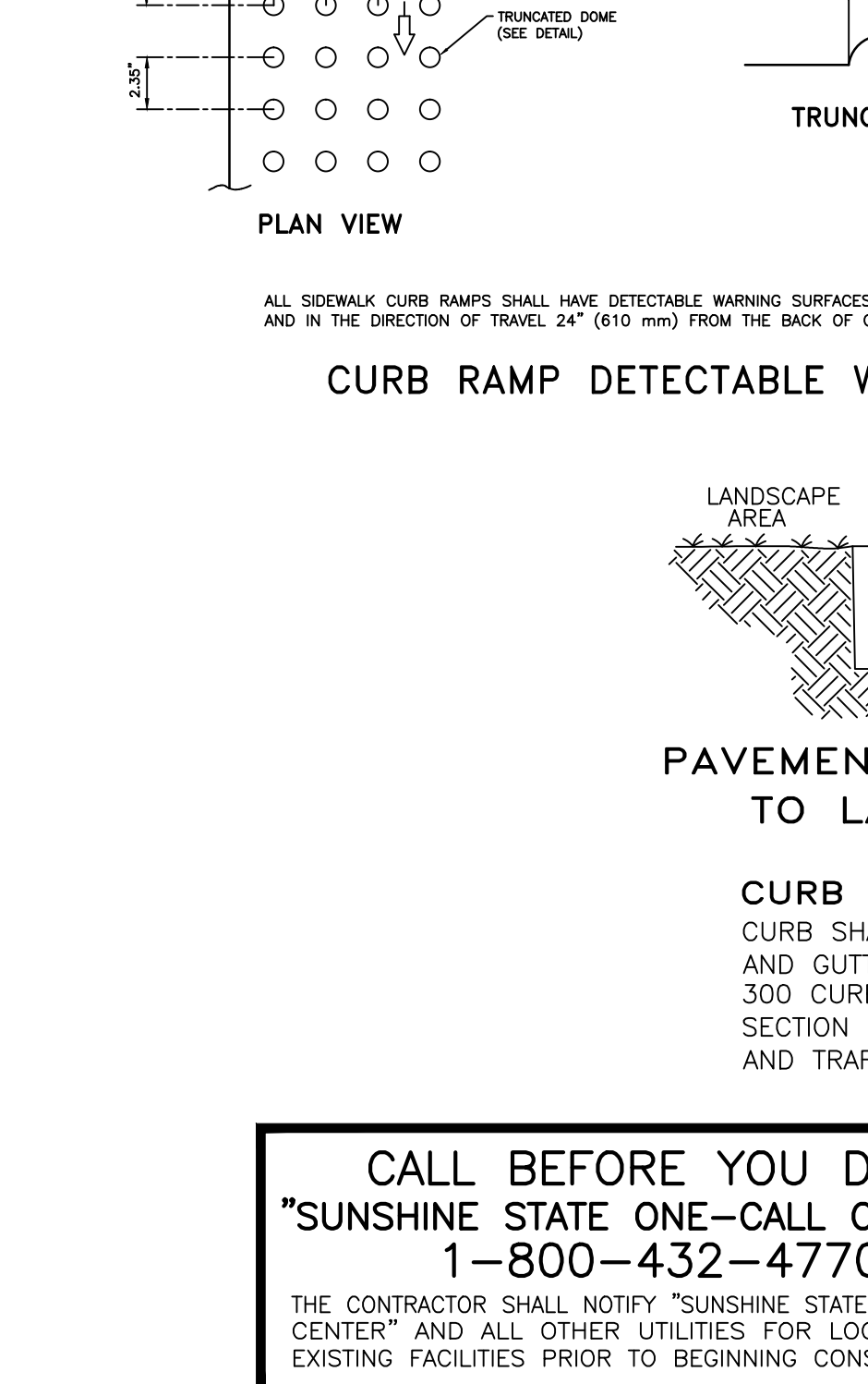
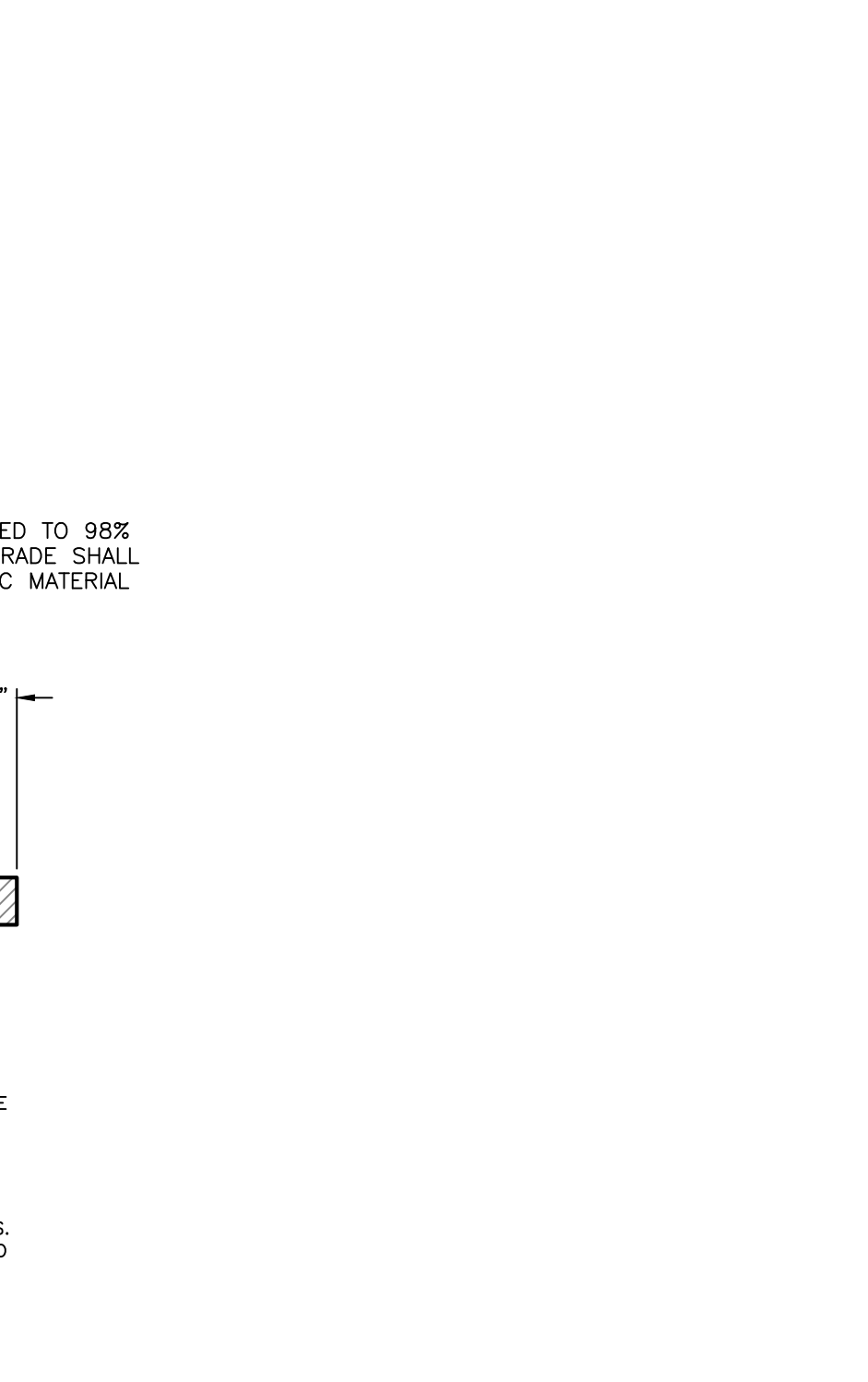
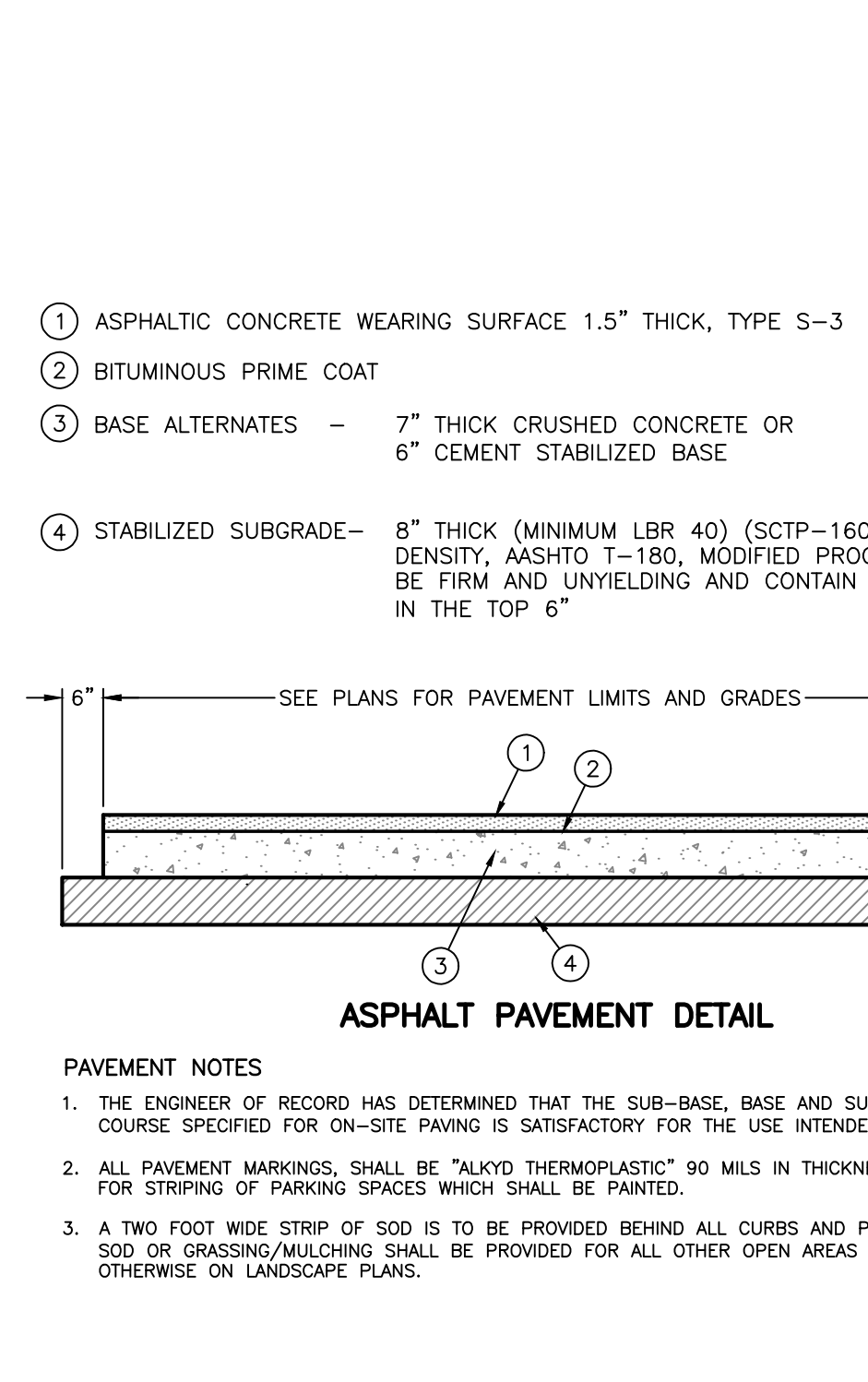
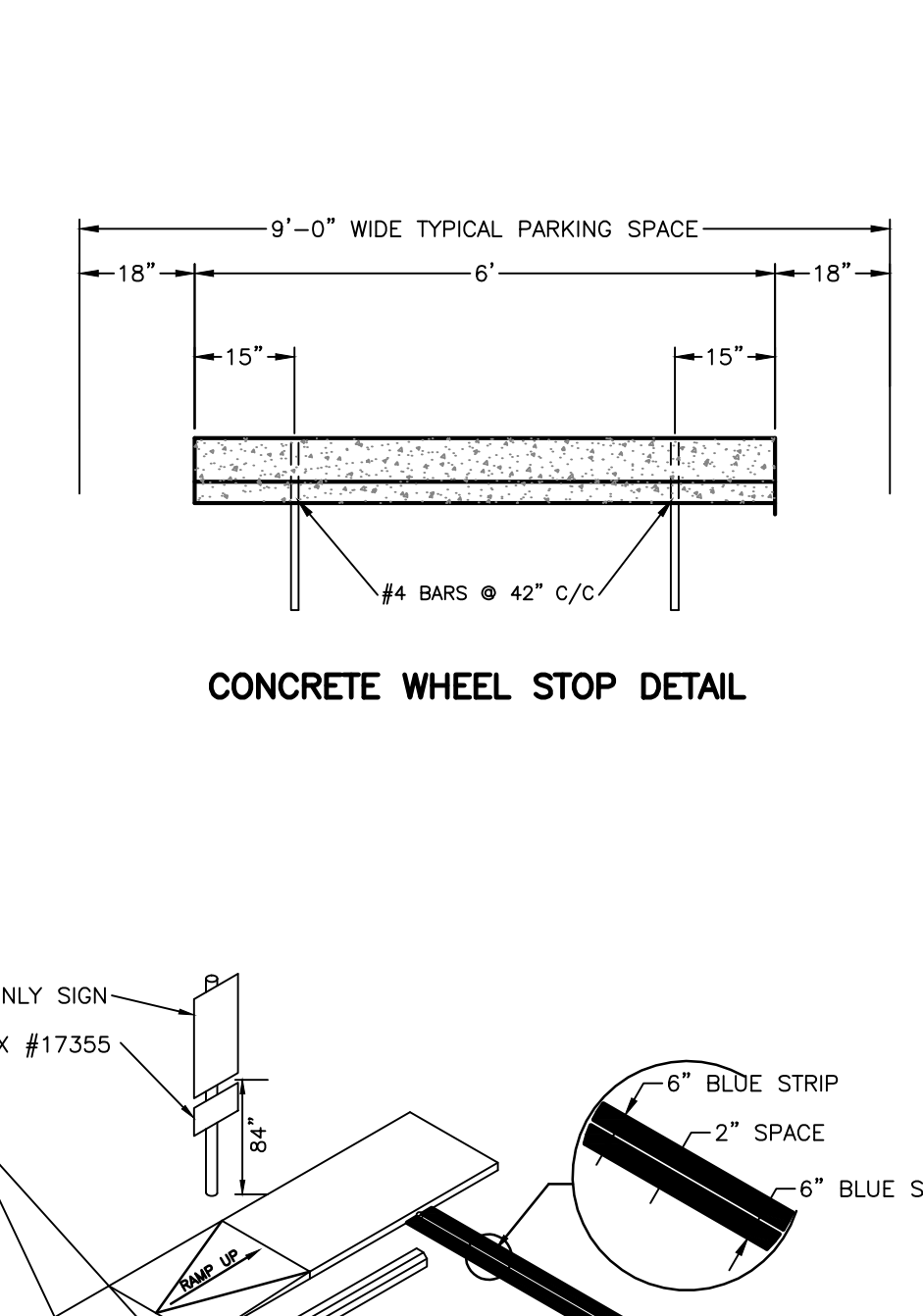
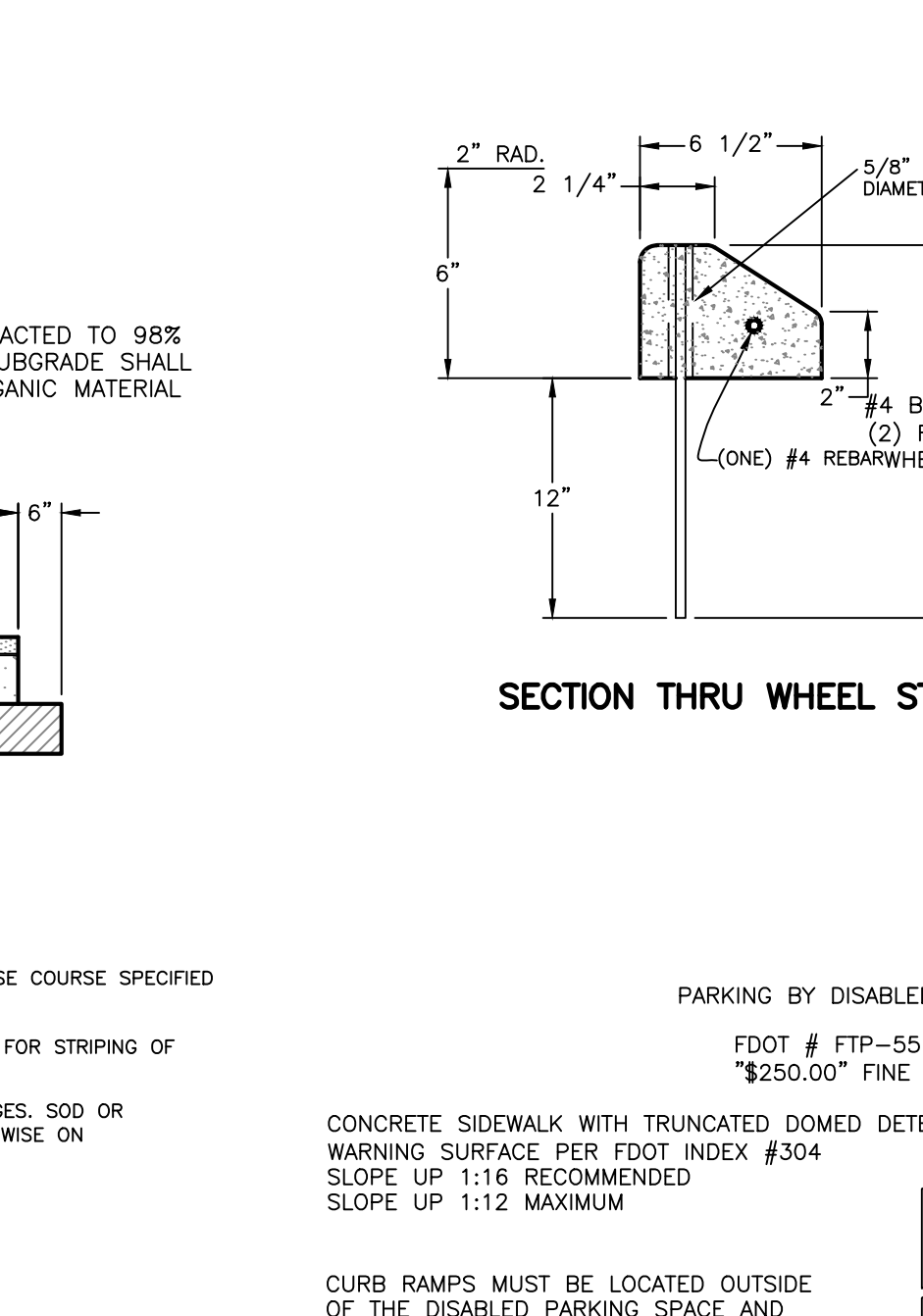
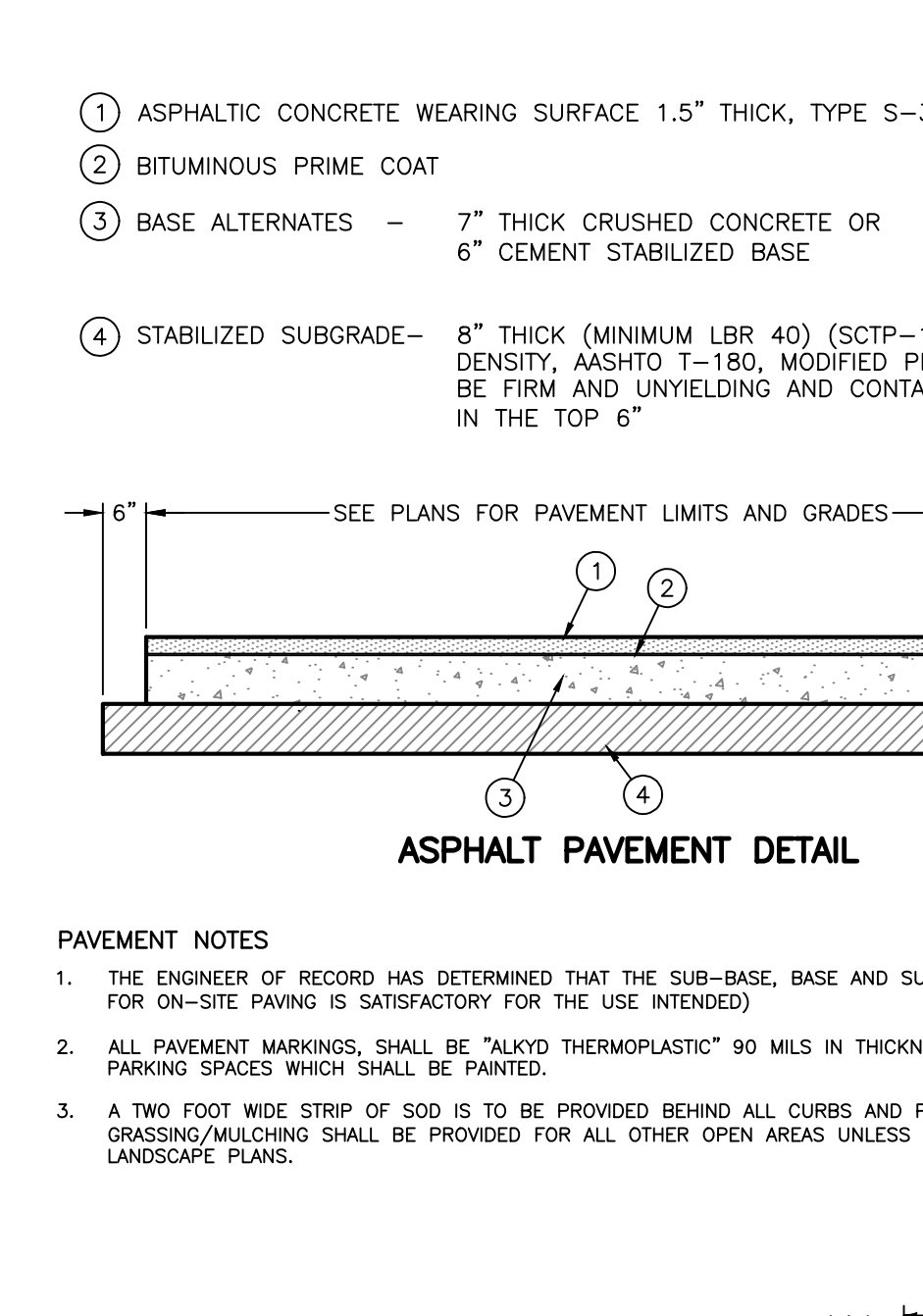
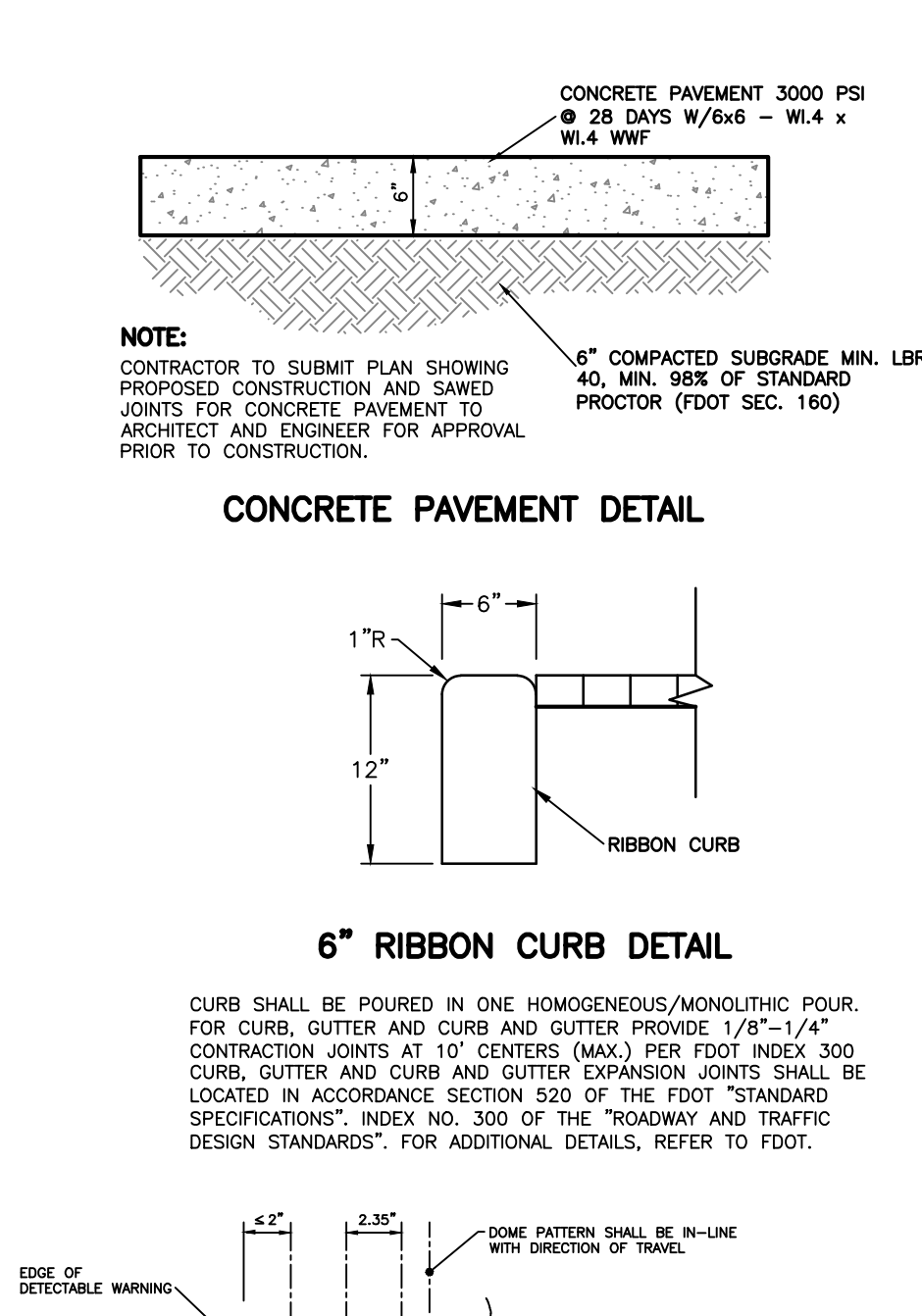
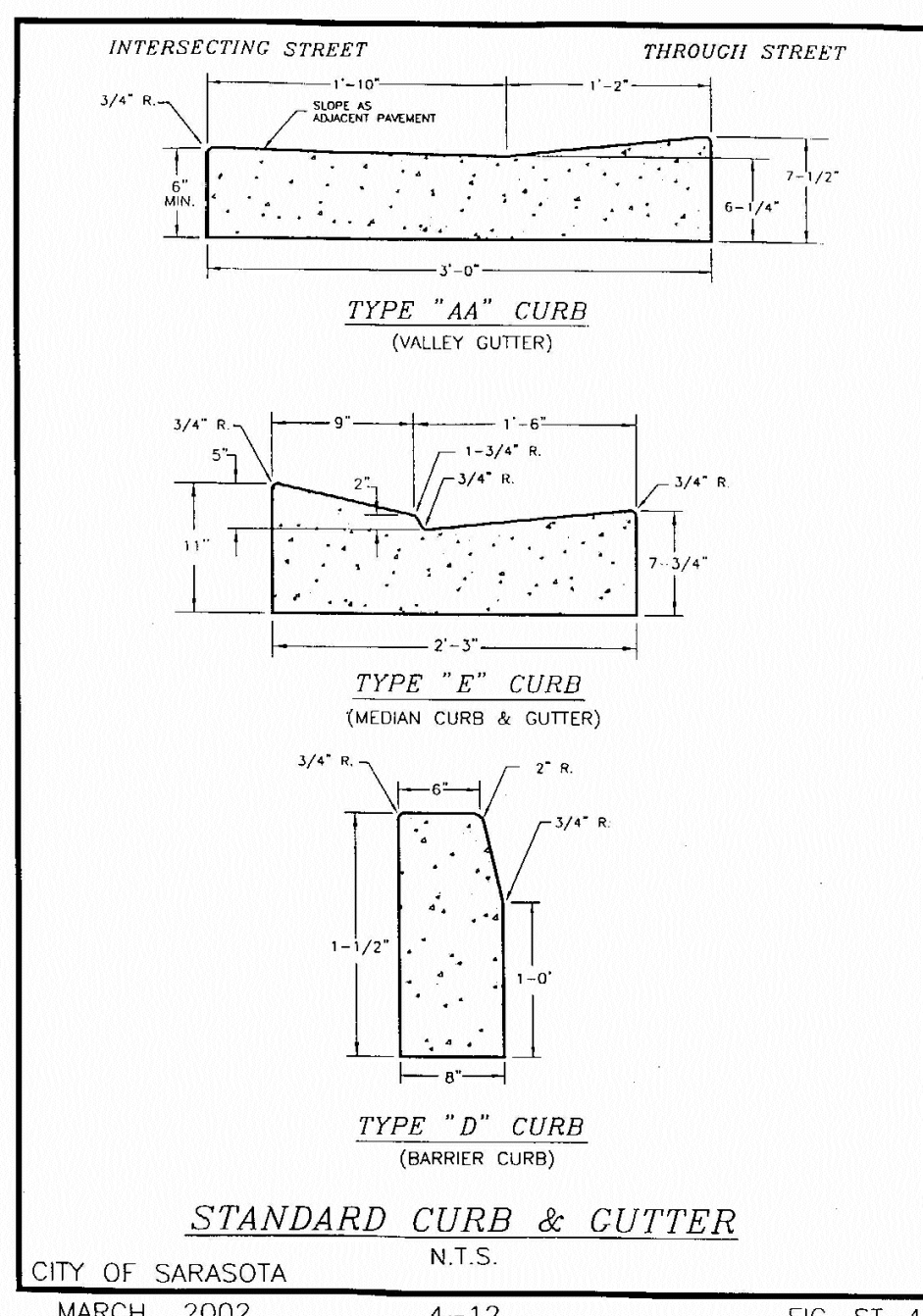
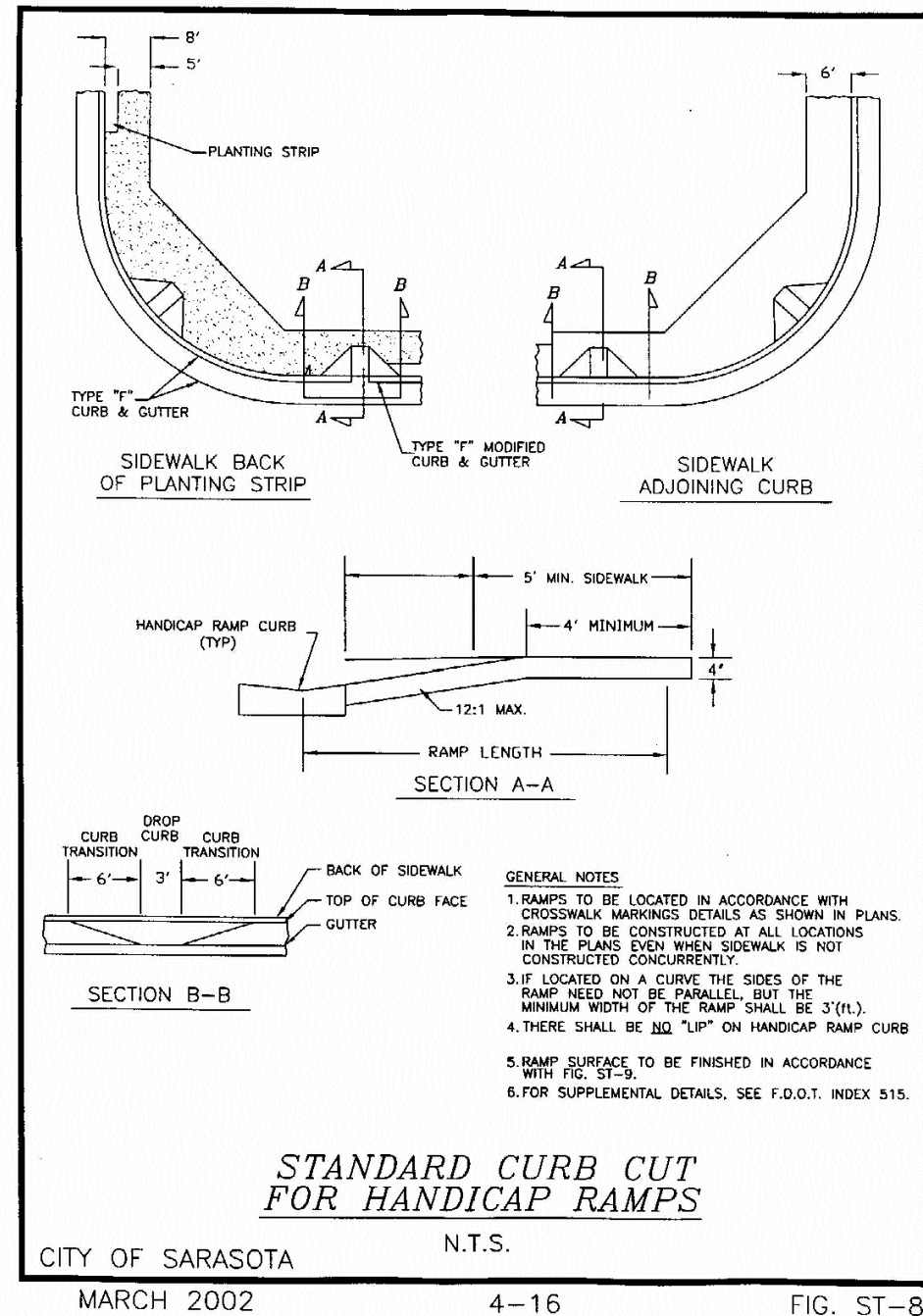
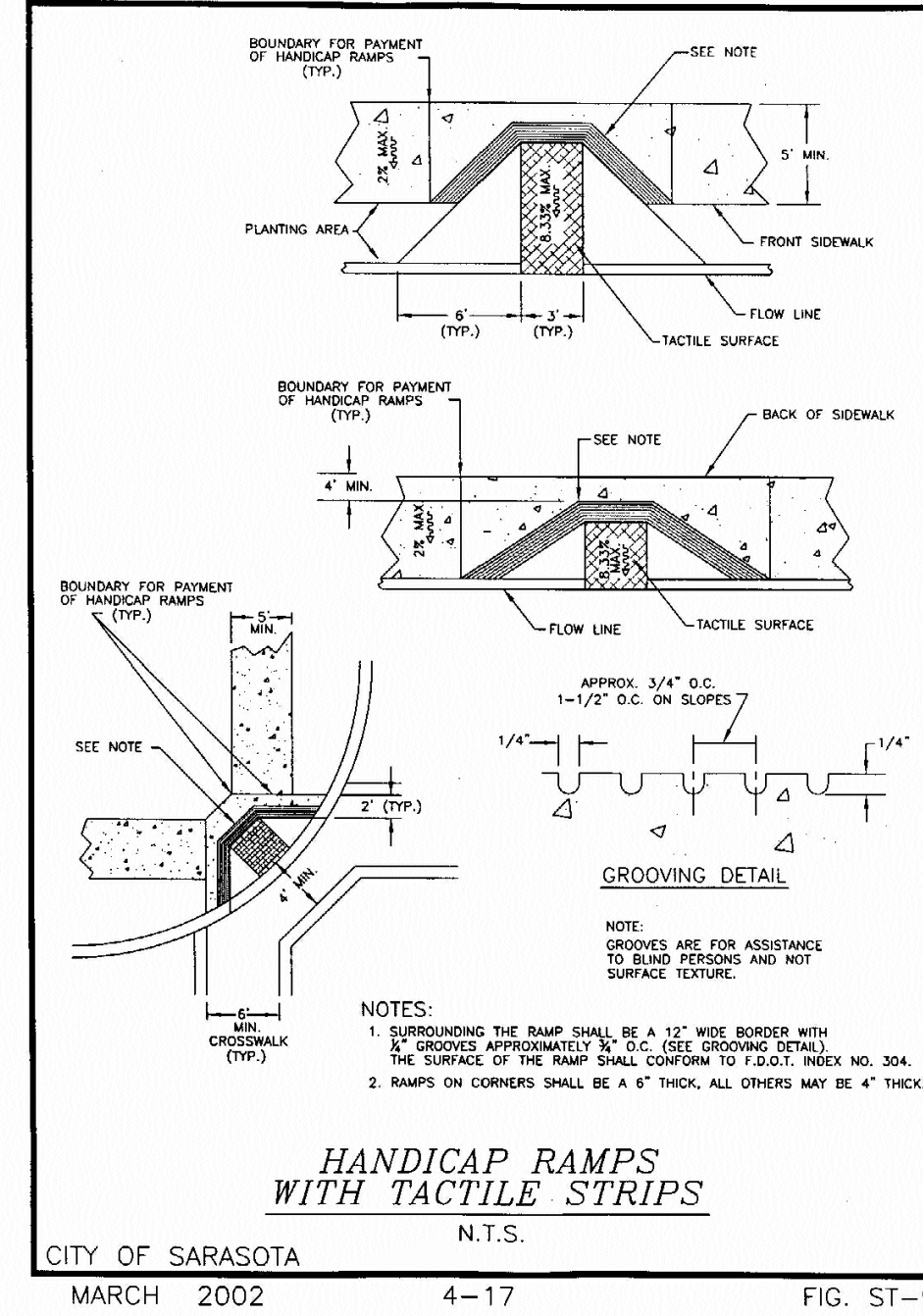
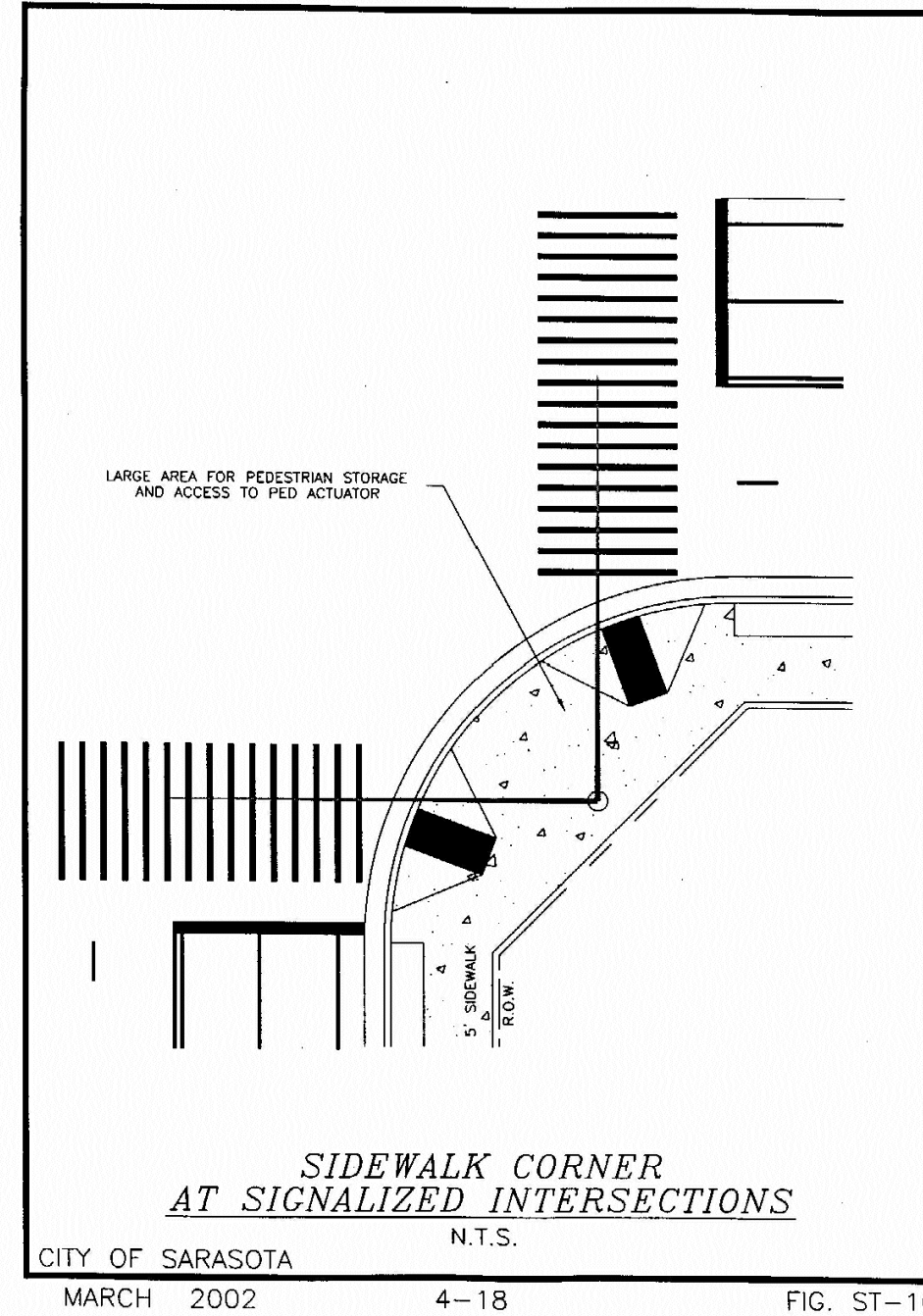
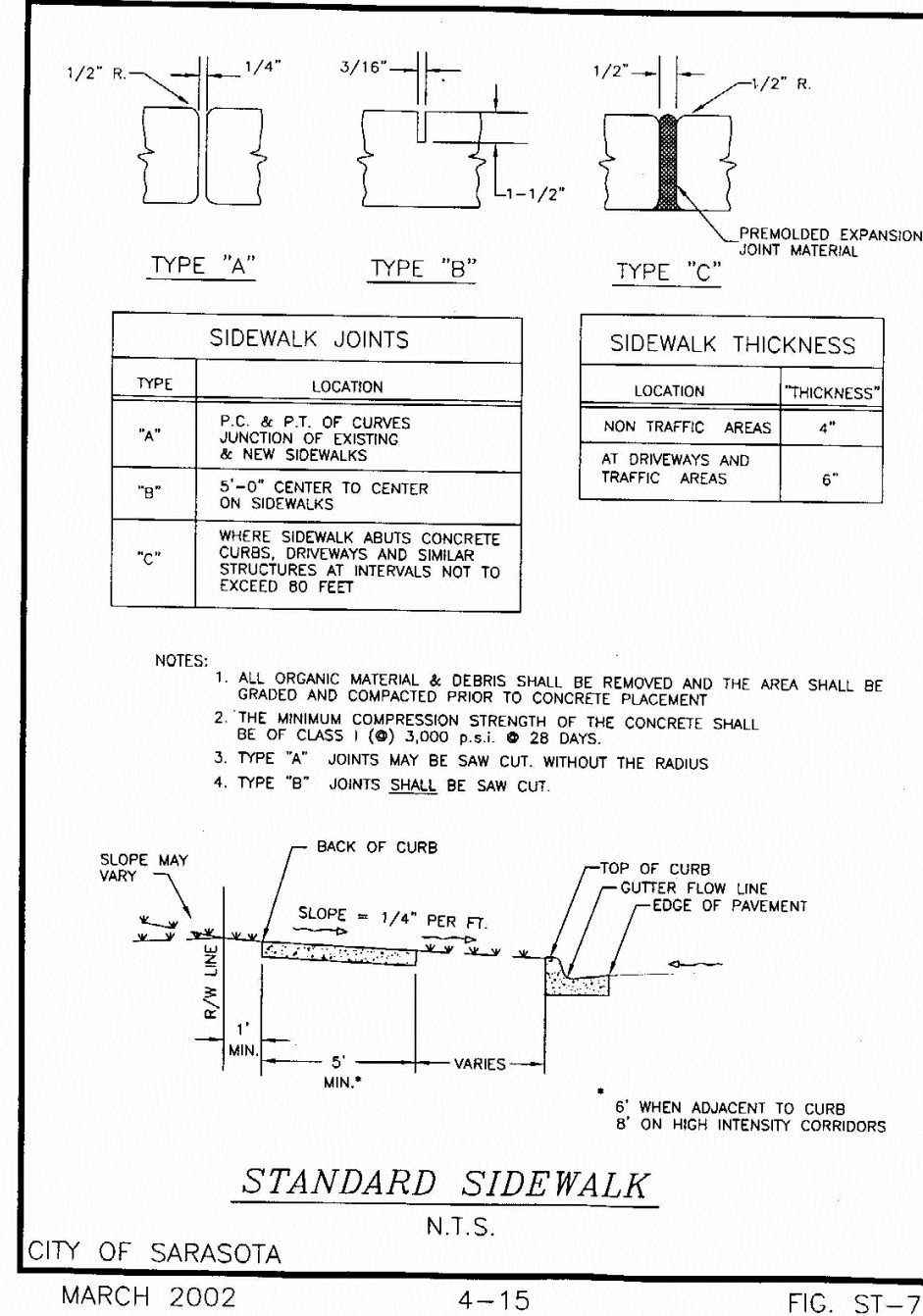
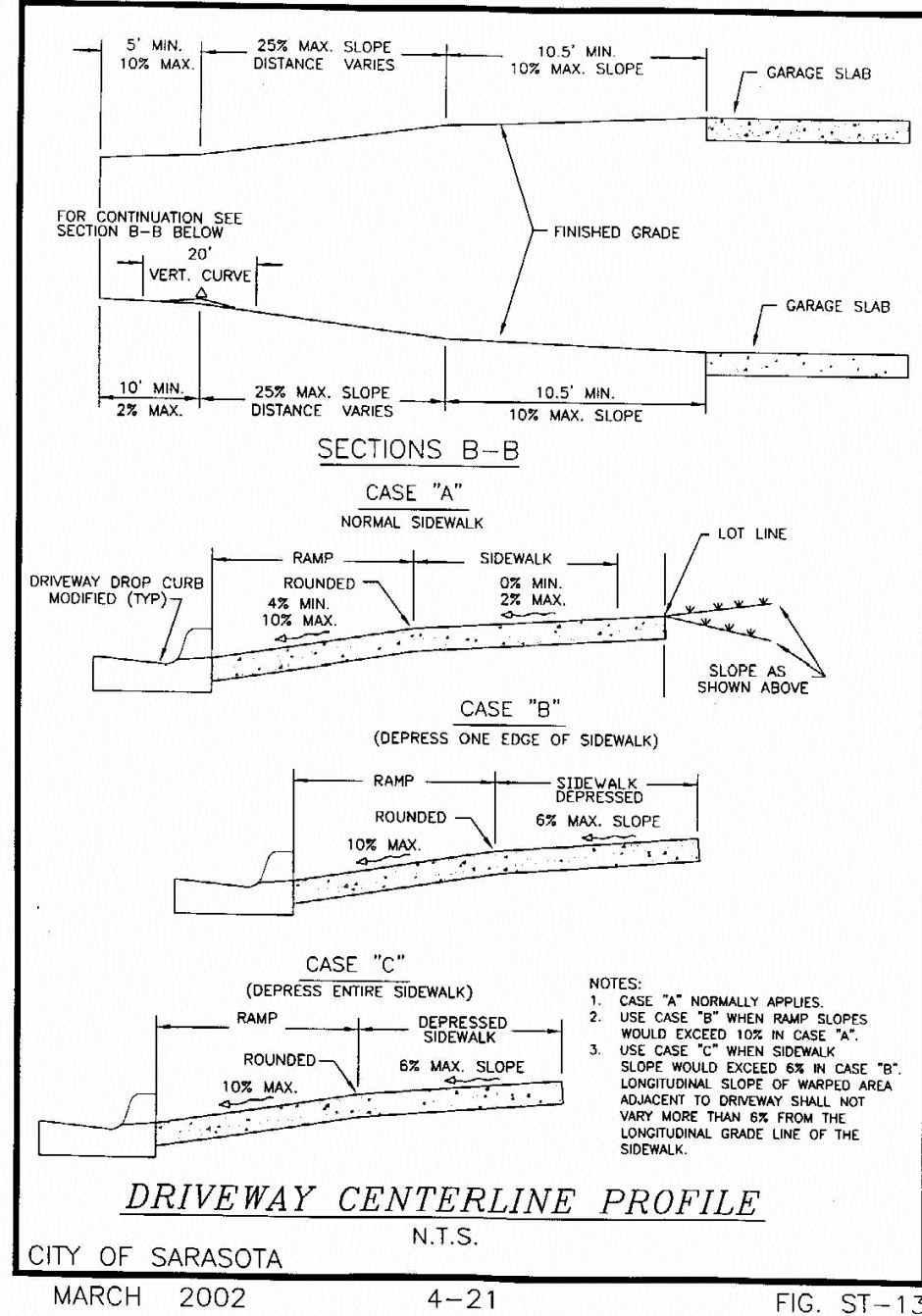
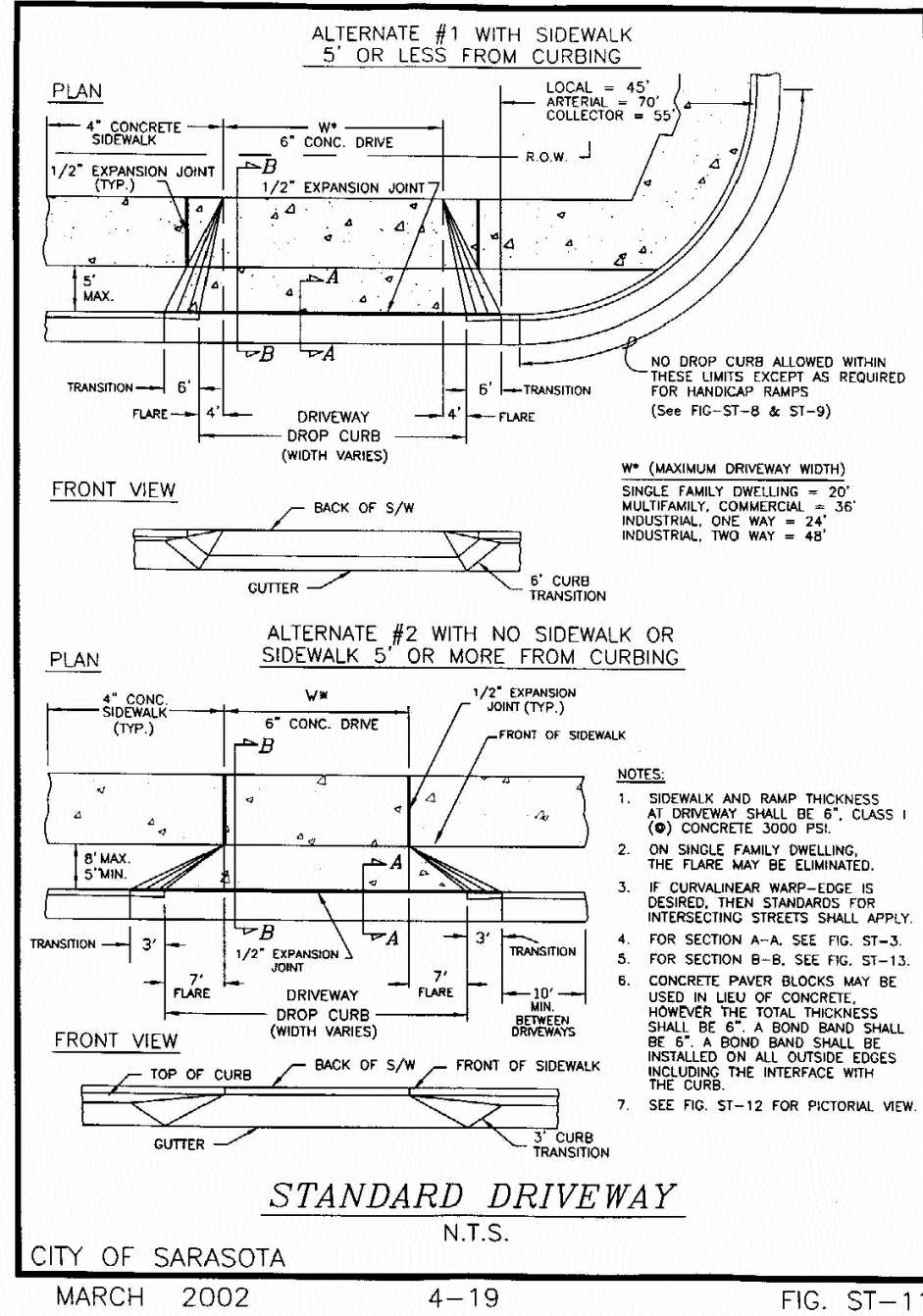
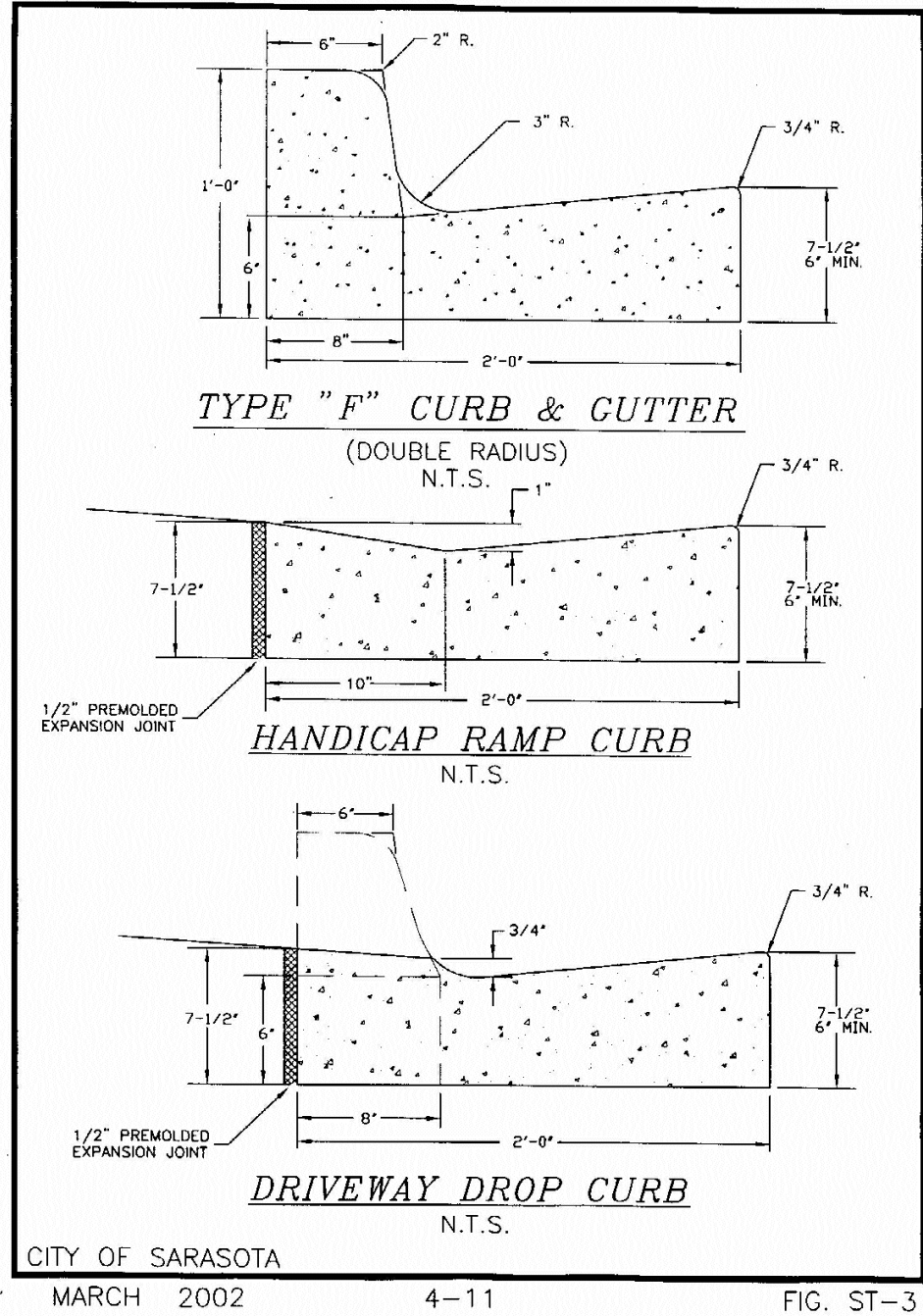
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

BY	DATE	DESCRIPTION
SRC	05/5/16	SWFMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/13/16	STORMTRAP COORDINATION

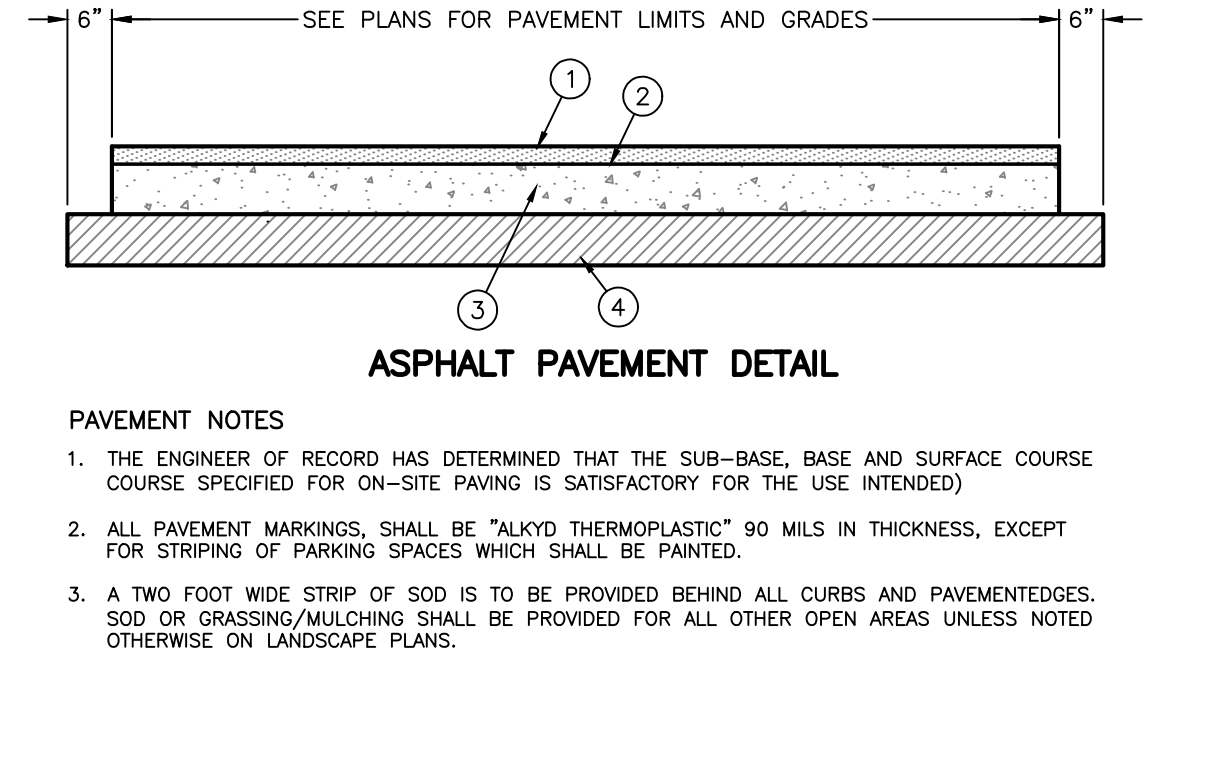


PROJ:	SCHOOL AVENUE TOWNHOMES
SCALE:	1"=20'
DATE:	12/16/15
CLIENT:	ICON RESIDENTIAL
DESC:	SOUTH STORM VAULT DETAILS

FOR CITY ENGINEER'S USE
DRAWN BY: SRC
CAD FILE: ICON01PGD
JOB NO: ICON0001
DRWG. NO: 5B
DATE:



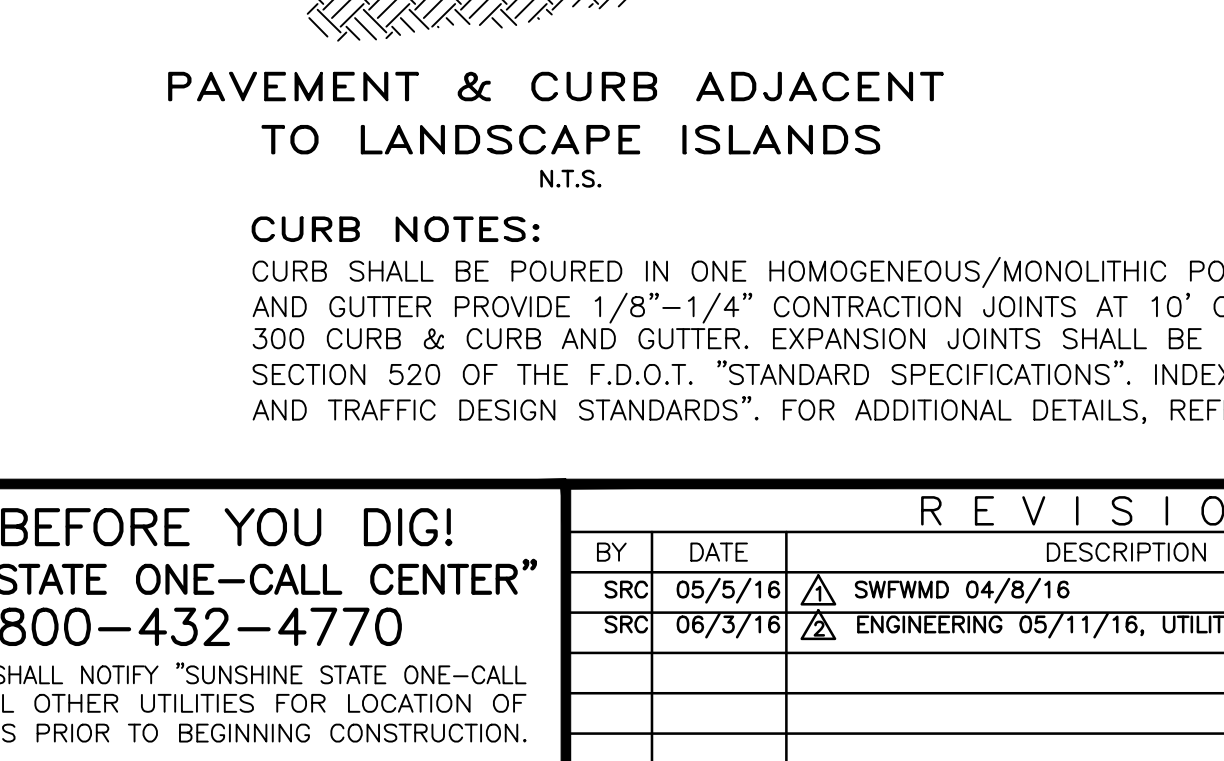
1. ASPHALTIC CONCRETE WEARING SURFACE 1.5" THICK, TYPE S-3
2. BITUMINOUS PRIME COAT
3. BASE ALTERNATES - 7" THICK CRUSHED CONCRETE OR 6" CEMENT STABILIZED BASE
4. STABILIZED SUBGRADE- 8" THICK (MINIMUM LBR 40) (SCTP-160) COMPACTED TO 98% DENSITY, AASHTO T-180, MODIFIED PROCTOR. SUBGRADE SHALL BE FIRM AND UNYIELDING AND CONTAIN NO ORGANIC MATERIAL IN THE TOP 6"



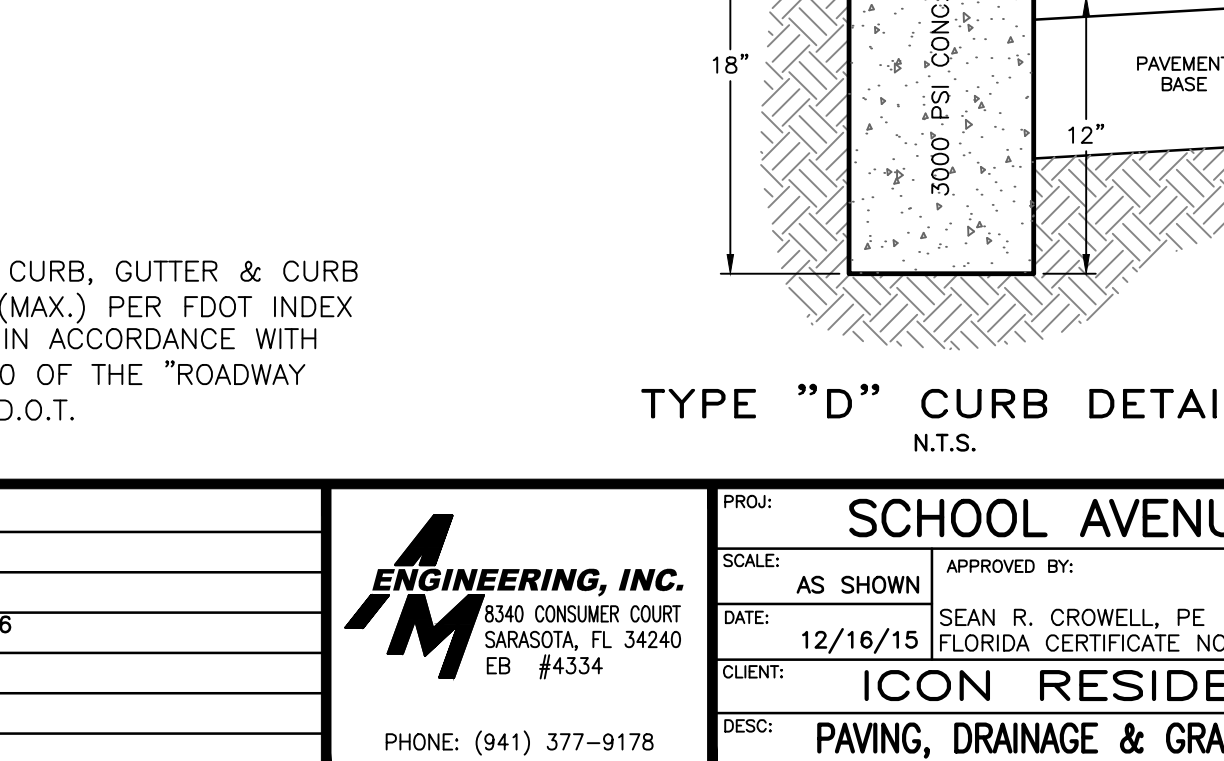
1. THE ENGINEER OF RECORD HAS DETERMINED THAT THE SUB-BASE, BASE AND SURFACE COURSE COURSE SPECIFIED FOR ON-SITE PAVING IS SATISFACTORY FOR THE USE INTENDED
2. ALL PAVEMENT MARKINGS, SHALL BE "ALKYD THERMOPLASTIC" 90 MILS IN THICKNESS, EXCEPT FOR STRIPING OF PARKING SPACES WHICH SHALL BE PAINTED.
3. A TWO FOOT WIDE STRIP OF SOD IS TO BE PROVIDED BEHIND ALL CURBS AND PAVEMENT EDGES. SOD OR GRASSING/MULCHING SHALL BE PROVIDED FOR ALL OTHER OPEN AREAS UNLESS NOTED OTHERWISE ON LANDSCAPE PLANS.



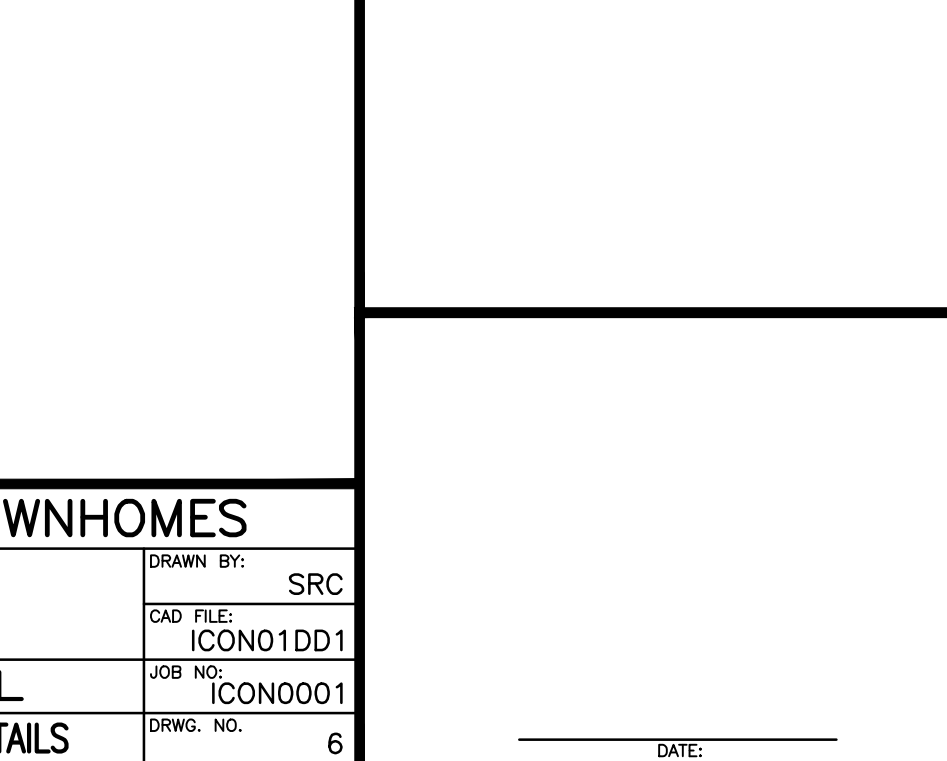
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PAVEMENT NOTES

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PAVEMENT & CURB ADJACENT TO LANDSCAPE ISLANDS N.T.S.

CITY OF SARASOTA
MARCH 2002 4-12 FIG. ST-4

CURB RAMP DETECTABLE WARNING

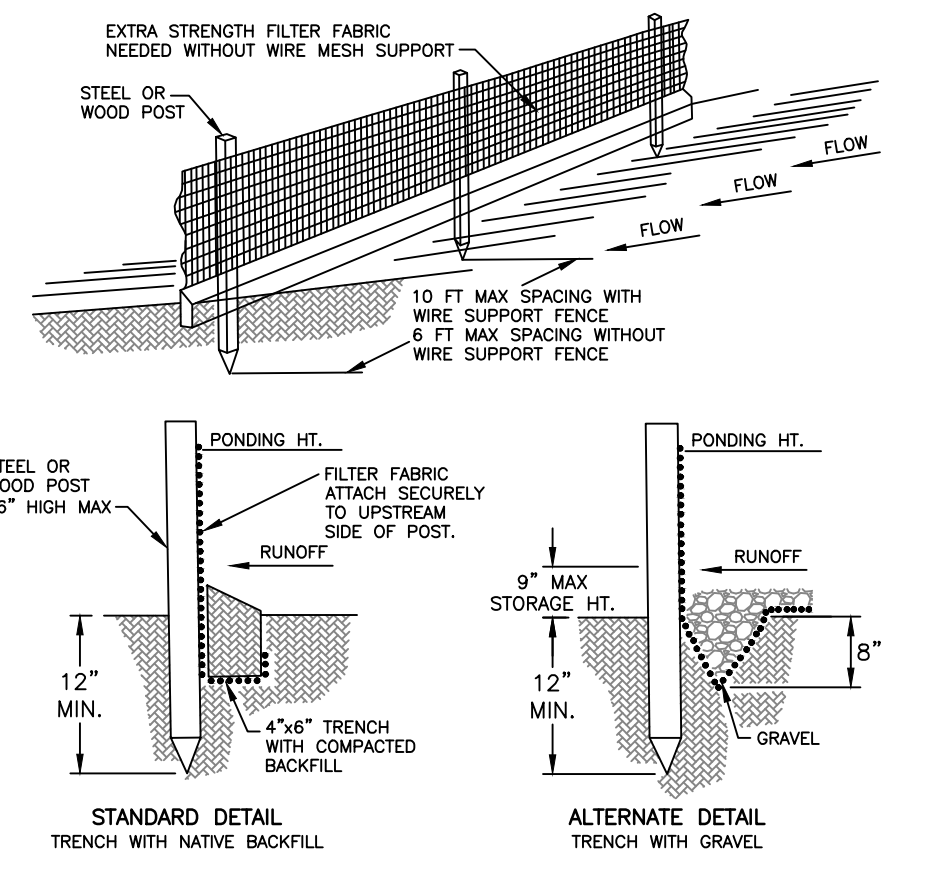
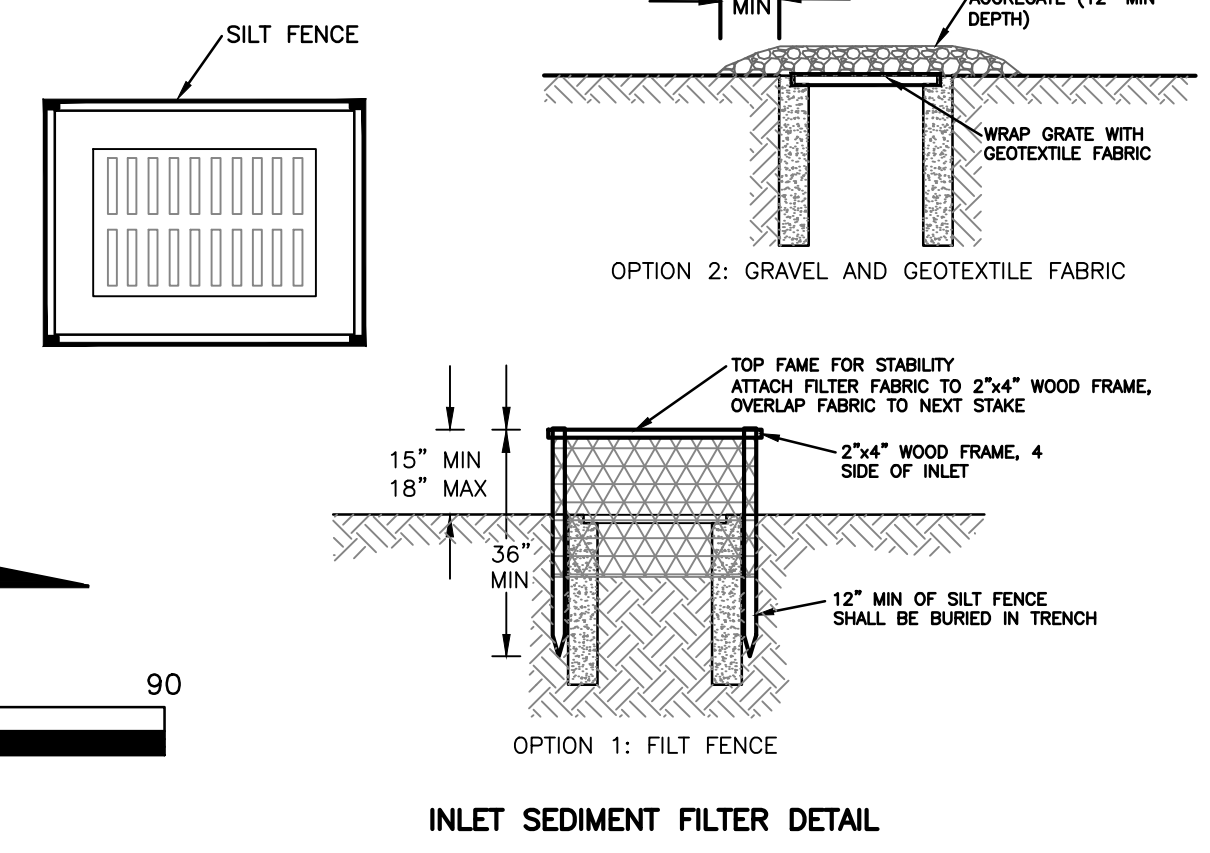
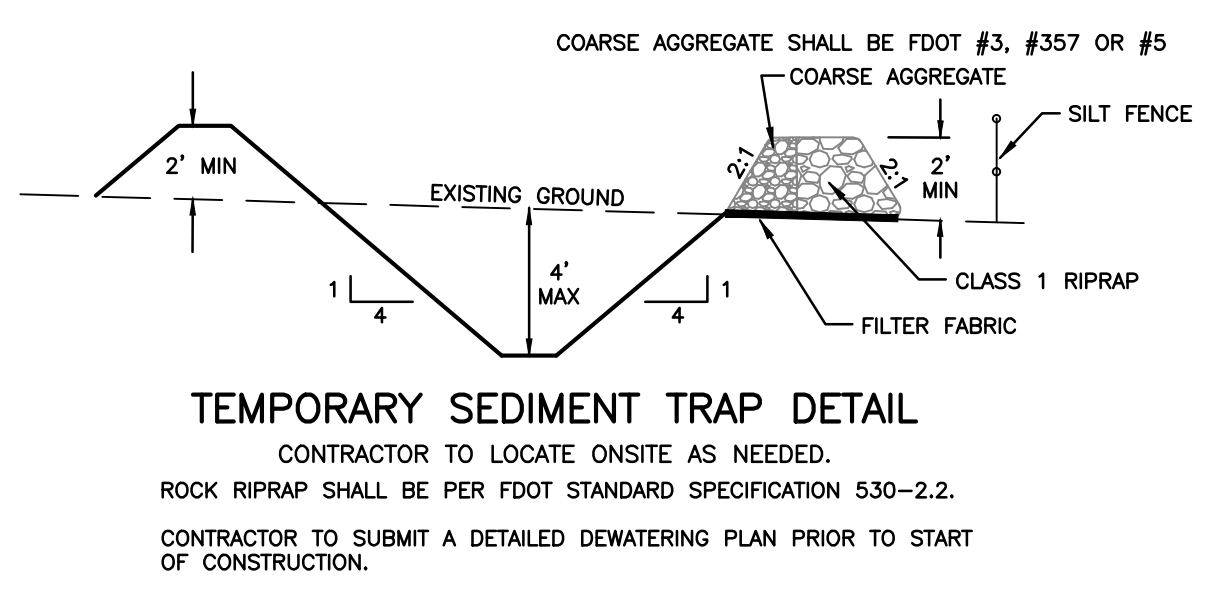
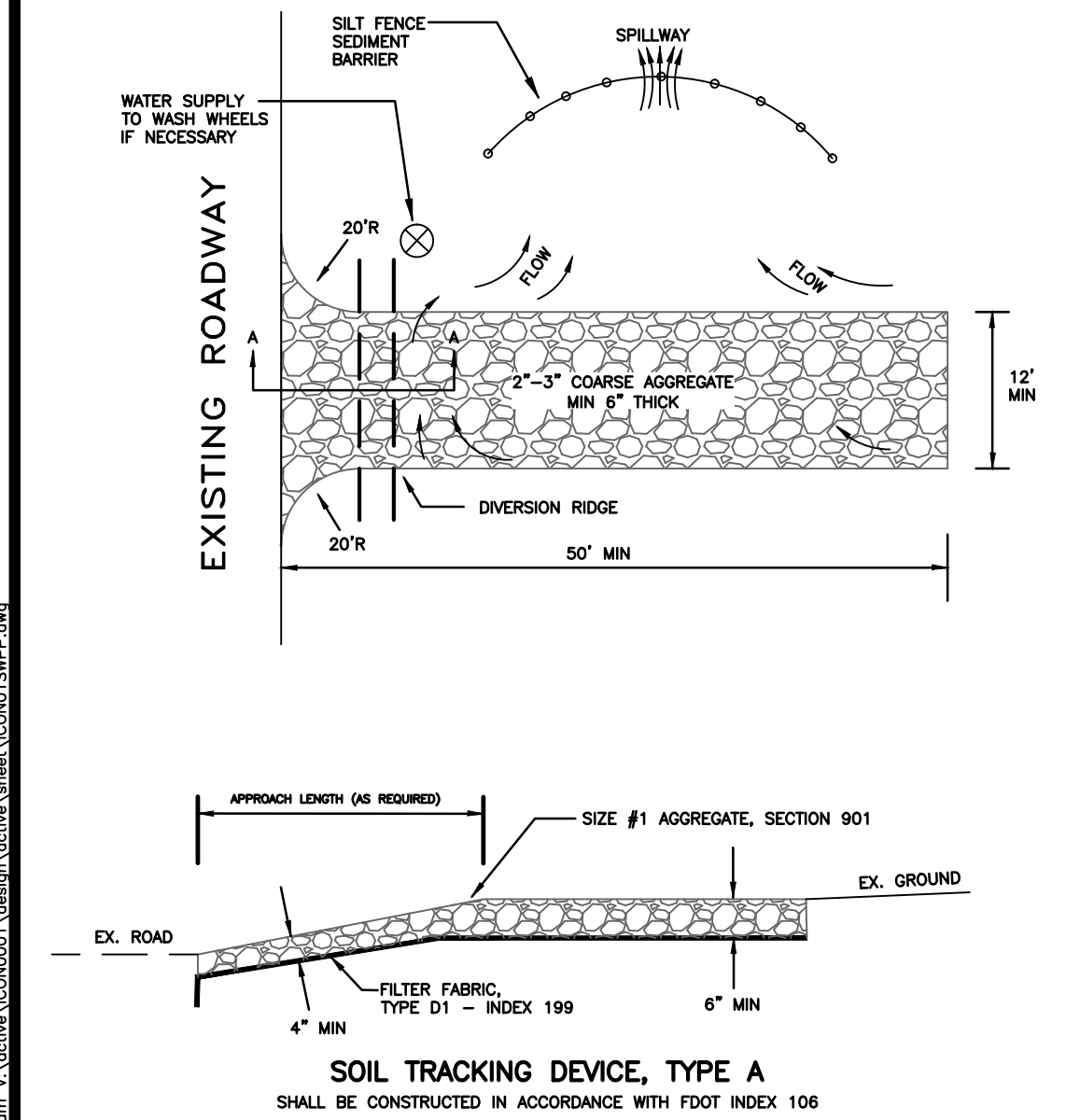
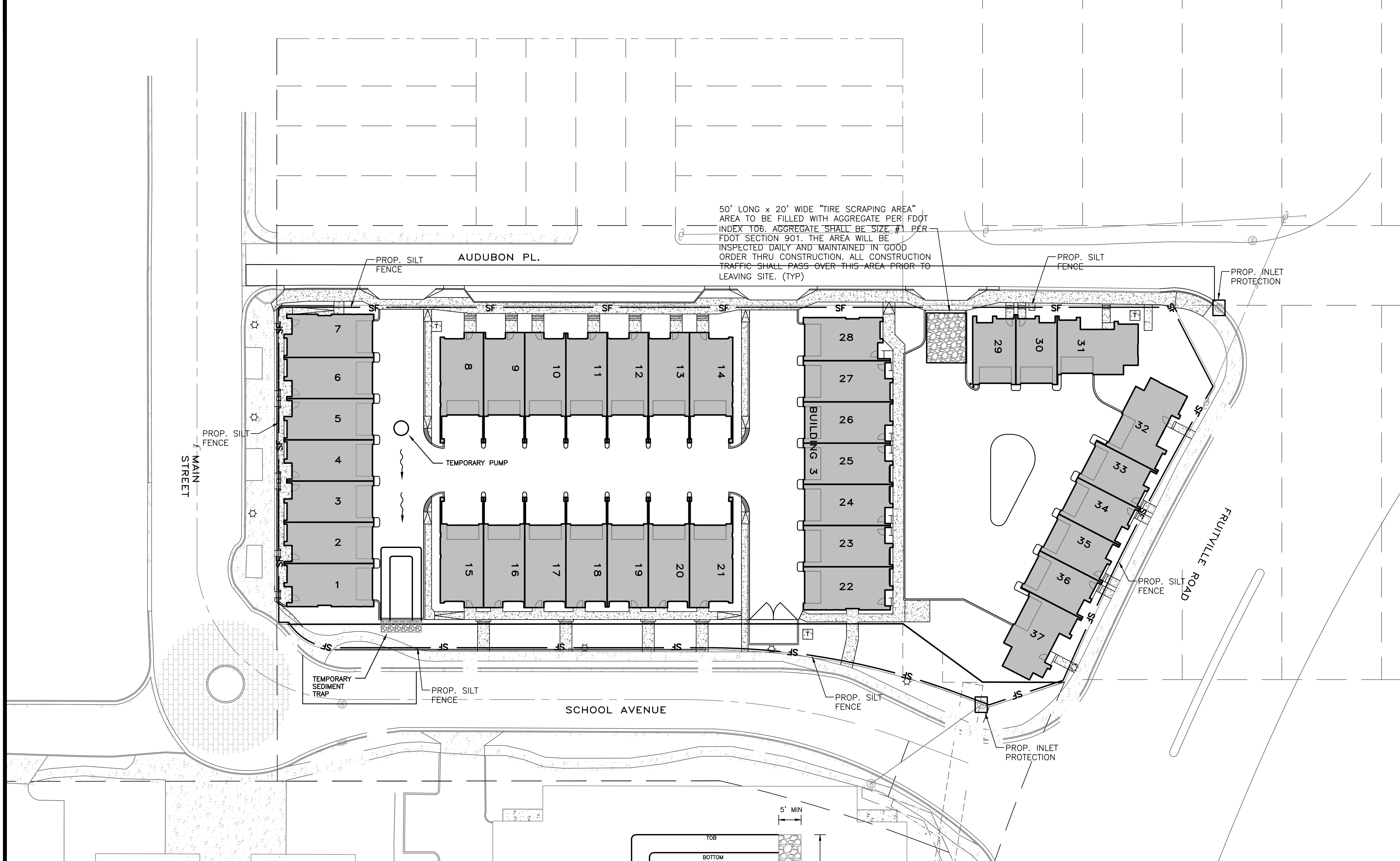
CITY OF SARASOTA
MARCH 2002 4-12 FIG. ST-4

TYPE "D" CURB DETAIL N.T.S.

CITY OF SARASOTA
MARCH 2002 4-18 FIG. ST-10

HANDICAP PARKING DETAIL

CITY OF SARASOTA
MARCH 2002 4-17 FIG. ST-9



NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R/W OR OFF-SITE. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTP PUBLIC R/W OR OFF-SITE.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONTRACTOR TO LOCATE ONSITE AS NEEDED.
ROCK RIPRAP SHALL BE PER FDOT STANDARD SPECIFICATION 530-2.2.
CONTRACTOR TO SUBMIT A DETAILED DEWATERING PLAN PRIOR TO START OF CONSTRUCTION.

CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFWMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

SCHOOL AVENUE TOWNHOMES	
SCALE: 1"=30'	APPROVED BY: SEAN R. CROWLEY, PE FLORIDA CERTIFICATE NO: 58584
DATE: 12/16/15	CAD FILE: ICON01SWPP
CLIENT: ICON RESIDENTIAL	JOB NO: ICON0001
DESC: STORMWATER POLLUTION PREVENTION PLAN	DRWG. NO: 7

FOR CITY ENGINEER'S USE
DATE:

NPDES REQUIREMENTS:

FEDERAL LAW PROHIBITS ALL POINT SOURCE DISCHARGE OR POLLUTANTS, WHICH INCLUDES THE DISCHARGE OF STORMWATER ASSOCIATED WITH LARGE (GREATER THAN 5 ACRES) CONSTRUCTION ACTIVITIES OR SMALL (LESS THAN 5 ACRES AND GREATER THAN 1 ACRE) CONSTRUCTION ACTIVITIES TO WATERS OF THE UNITED STATES WITHOUT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. UNDER THE STATE OF FLORIDA'S AUTHORITY TO ADMINISTER THE NPDES STORMWATER PROGRAM, OPERATORS THAT HAVE STORMWATER DISCHARGE ASSOCIATED WITH LARGE OR SMALL CONSTRUCTION ACTIVITIES TO SURFACE WATERS OF THE STATE, INCLUDING THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4, I.e. TOWN, CITY OR COUNTY), SHALL OBTAIN COVERAGE EITHER UNDER A GENERAL PERMIT OR AN INDIVIDUAL PERMIT.

THE NPDES PERMIT REQUIRES INSPECTIONS ONE (1) TIME PER WEEK AND WITHIN 24 HOURS FOLLOWING A 0.5-INCH RAINFALL EVENT OF ALL BEST MANAGEMENT PRACTICES (BMPs) AND EROSION CONTROL MEASURES. AS AUTHORIZED BY THE OWNER, THE ENGINEER OF RECORD WILL MAKE PERIODIC INSPECTIONS AND DOCUMENT COMPLIANCE IN ACCORDANCE WITH THE NPDES PERMIT. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE WEEKLY INSPECTIONS AND REQUIRED MAINTENANCE OF THE BMPs AND EROSION CONTROL MEASURES AND THE POST-RAINFALL EVENT INSPECTIONS. THE INSPECTIONS MUST DOCUMENT COMPLIANCE WITH THE NPDES PERMIT OR CORRECTION ACTIONS NEEDED AND/OR TAKEN AND BE RECORDED ON THE STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM. THE CONTRACTOR CAN CONTACT FDEP AT 850-245-7522 OR VISIT THE FDEP WEBSITE AT WWW.FDEP.STATE.FL.US FOR ADDITIONAL INFORMATION RELATING TO THE SWPPP AND THE NPDES PERMIT.

THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FROM THE ENGINEER OF RECORD (EOR) PRIOR TO SUBMITTING A CONSTRUCTION BID AND SHALL INCLUDE ALL MONIES NECESSARY TO ENSURE THAT THE SWPPP IS FOLLOWED DURING THE CONSTRUCTION DURATION. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ALL REQUIREMENTS OF THE SWPPP AND HAVE IT POSTED ON-SITE ALONG WITH THE EROSION CONTROL PLAN, THE NPDES PERMIT, AND THE COMPLETED INSPECTION REPORT FORM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL PRACTICES DEFINED IN THE SWPPP AND ASSOCIATED FINES THAT MAY BE IMPROVED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AGENCY (FDEP) FOR NOT COMPLYING WITH THE NPDES REQUIREMENTS CONTAINED IN THE SWPPP AND THE NPDES PERMIT SHALL BE INCLUDED IN THE CONTRACTORS CONSTRUCTION BID.

SWPPP SEQUENCE OF EVENTS

1. SURVEYORS STAKEOUT SILT SCREEN LOCATION
2. SILT SCREEN INSTALLED
3. CLEARING AND GRUBBING OPERATIONS
4. REPAIR ALL SILT SCREEN DAMAGED DURING CLEARING AND GRUBBING
5. CONSTRUCT SEDIMENTATION BASINS FOR DEWATERING
6. EARTH MOVING-CONSTRUCT LAKES, FILL LOTS, ROADS, SWALES, AND BERMS
7. FINAL GRADING OF SLOPES
8. INSTALL SWALES OR BERMS TO PROTECT SLOPES
9. SOD OR SEED SLOPES
10. BMPs TO BE MAINTAINED THROUGHOUT ALL CONSTRUCTION ON THE SITE
11. MAINTENANCE AND INSPECTIONS

GENERAL NOTES

1. MEANS OF VEGETATION, EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED AS DESCRIBED IN THE CONTROLS SECTION OF THE POLLUTION PREVENTION PLAN AND WILL BE MAINTAINED TO ENSURE THAT THEY ARE EFFECTIVE. IF ANY ADDITIONAL MEASURES ARE NEEDED, THEY WILL BE IMPLEMENTED PRIOR TO CONTINUING CONSTRUCTION ACTIVITIES.
2. A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL INSPECT ALL POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MSA DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. AREAS USED FOR STORAGE OF MATERIAL THAT ARE EXPOSED TO PRECIPITATION: STRUCTURAL CONTROLS, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER.
3. MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES: SILT FENCE, HAY BALES AND OTHER SILTATION AND EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY BY THE CONTRACTOR DURING CONSTRUCTION. ANY INSTALLATION THAT HAS BEEN DAMAGED OR DISPLACED COMPONENTS, SHALL BE REPLACED OR REPAIRED IMMEDIATELY.
4. MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES: DURING DEWATERING: PRIOR TO COMMENCING DEWATERING THE CONTRACTOR SHALL INSPECT THE TEMPORARY SEDIMENT, SUMP, SILT FENCE, HAY BALES AND OTHER COMPONENTS OF THE SILTATION AND EROSION CONTROL SYSTEM, DAMAGED OR DISPLACED COMPONENTS SHALL BE REPLACED OR REPAIRED PRIOR TO STARTING DEWATERING.

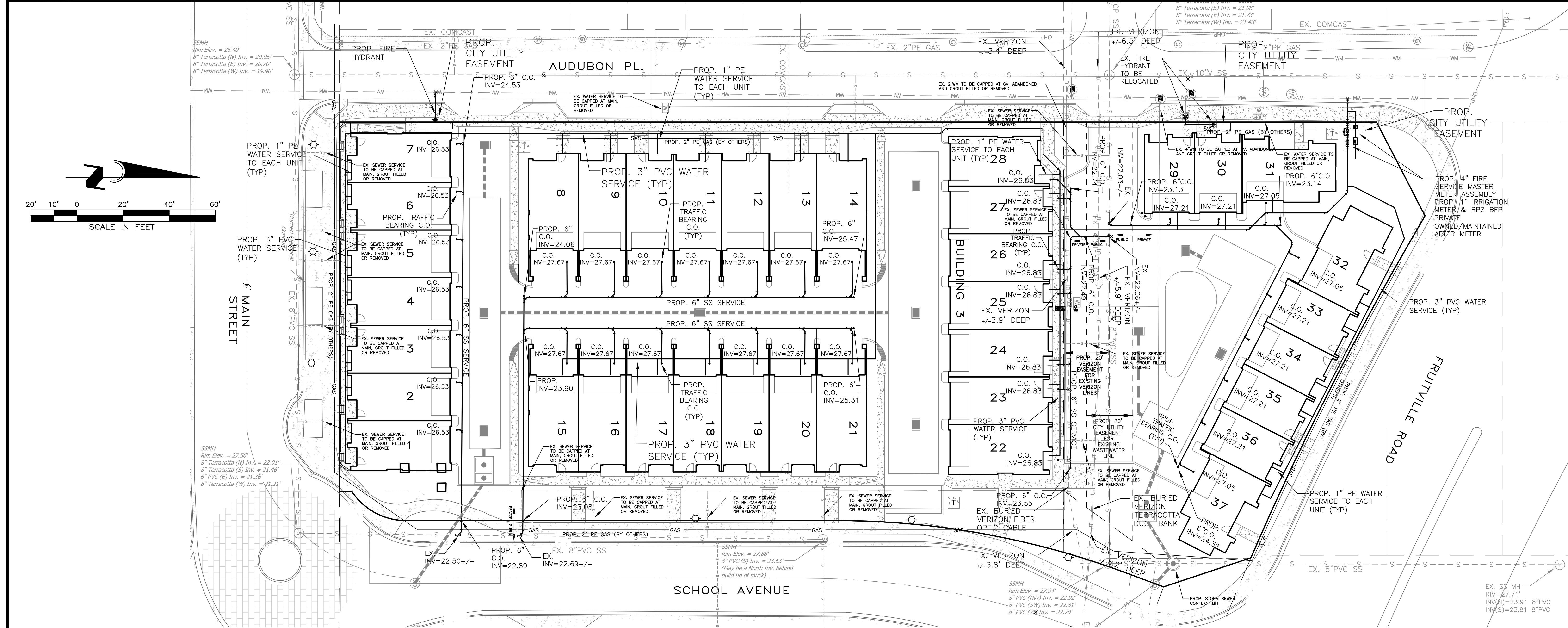
EROSION AND SILTATION CONTROL:

THE PROPOSED SILT FENCE WILL BE PLACED AT THE SITE PERIMETER PRIOR TO BEGINNING CLEARING OR DEMOLITION. THE SILT FENCE WILL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION WHICH IS ESTIMATED TO BE NINE MONTHS. ADDITIONAL EROSION CONTROL MEASURES SUCH AS FILTER CLOTH OVER INLET GRATES AND HAY BALES AT INLETS WILL BE IMPLEMENTED AS REQUIRED DURING CONSTRUCTION. FINAL STABILIZATION OF THE SITE WILL OCCUR AT THE END OF CONSTRUCTION WITH THE INSTALLATION OF THE LANDSCAPING. INTERIM STABILIZATION IN SELECT AREAS SUCH AS THE FILL SLOPE WILL BE IMPLEMENTED AS CONSTRUCTION ALLOWS.

1. DAILY INSPECTION OF THE PERIMETER SILT FENCE FOR DAMAGE OR BREACHES. REPAIR AS NECESSARY.
 2. WEEKLY INSPECTION OF GRAVEL AREA AT CONSTRUCTION ENTRANCE. ADD GRAVEL AS REQUIRED TO MAINTAIN EFFECTIVENESS.
 3. STABILIZE SLOPES WITH SOD AS SOON AS FINISHED GRADING IS COMPLETE. WEEKLY INSPECTION OF SODDED SLOPES AND REPAIR OF ANY WASHOUTS OR ERODED AREAS.
 4. DAILY INSPECTION OF ADJOINING ROADWAY. SWEEP PAVEMENT AND GUTTERS AS REQUIRED TO REMOVE TRACKED SOIL.
- SOLID WASTE INCLUDING CONSTRUCTION DEBRIS WILL BE PLACED IN ROLL ON CONTAINERS. IT IS ESTIMATED THAT THE DEBRIS WILL HAVE TO BE REMOVED AT ONE TO TWO WEEK INTERVALS DURING BUILDING CONSTRUCTION. SOLID WASTE MANAGEMENT, EROSION AND SILTATION CONTROL DEVICES SHALL BE INSTALLED, INSPECTED AND MAINTAINED BY THE GENERAL CONTRACTOR.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTES:

- A) NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C.
- B) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART II.D.2, F.A.C., AND AS PER SEC 54-187(1)(1) OF THE SARASOTA COUNTY CODE.
- C) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO THE CITY OF SARASOTA IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART II.D.1, F.A.C.
- D) THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART V.D.6, F.A.C. AND A COPY OF THE CERTIFIED DOCUMENT SHALL BE SUBMITTED TO THE CITY OF SARASOTA AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- E) A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO CITY OR STATE INSPECTORS.

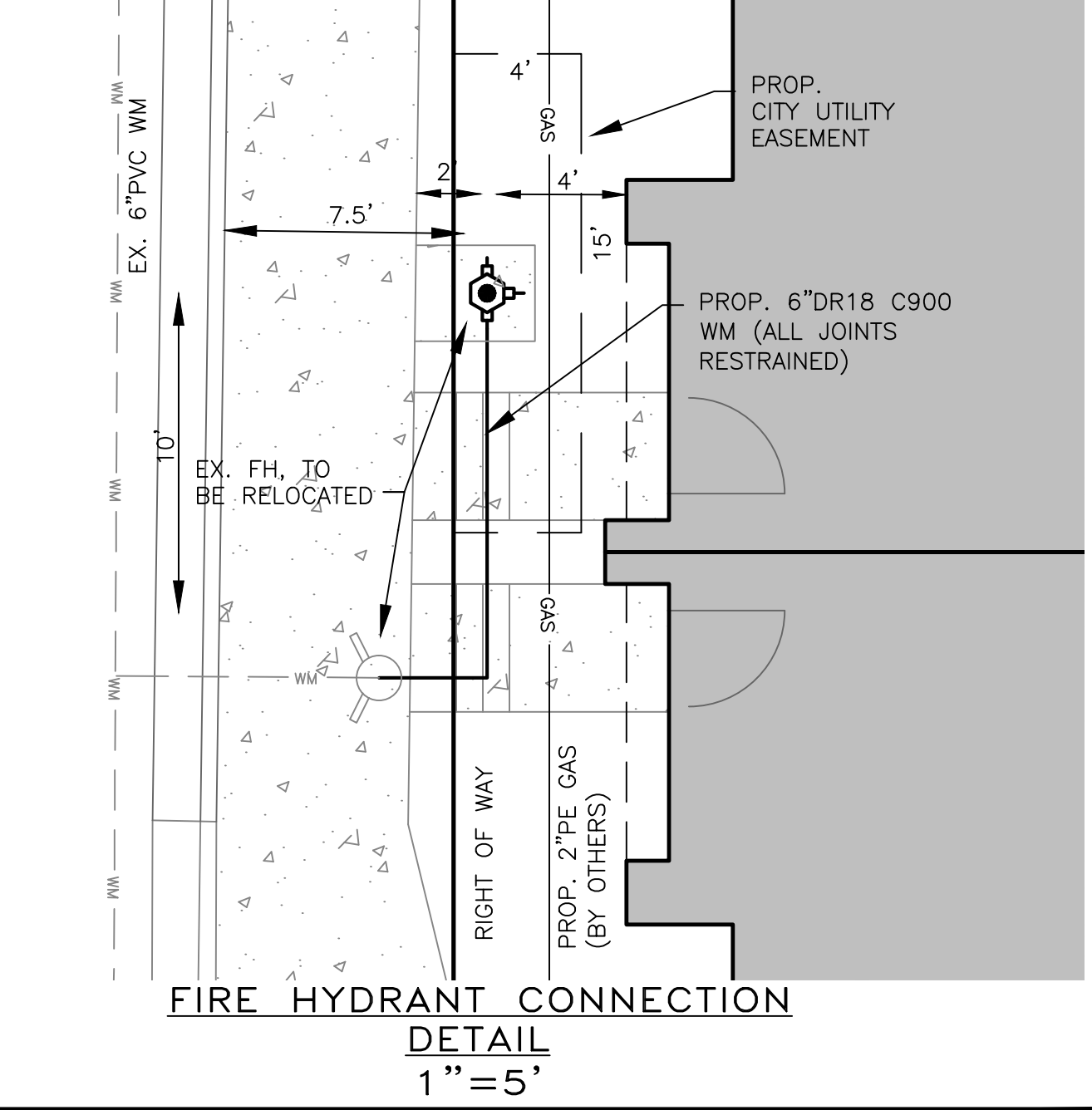
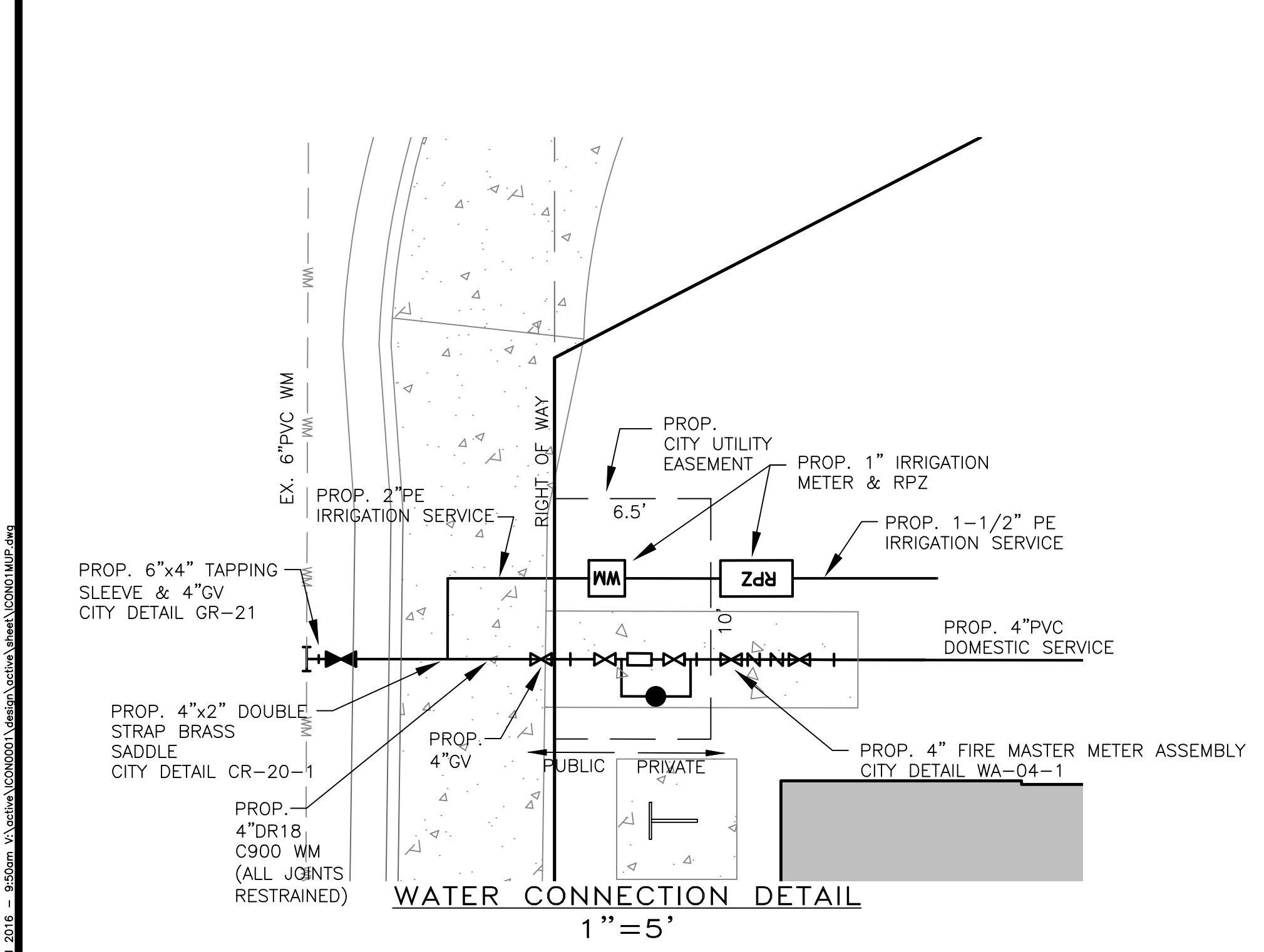


CITY OF SARASOTA UTILITY NOTES:

1. THE OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE INSTALLATION OR NECESSARY UPGRADES TO CITY OWNED UTILITIES TO SERVICE THIS SITE.
2. WATER METER BOXES LOCATED IN SIDEWALK AND SHALL HAVE A H20 RATING.
3. A DVD VIDEO INSPECTION DISC OF ANY SANITARY SERVICE PROPOSED TO BE REUSED SHALL BE PROVIDED BY THE DEVELOPER AND SUBMITTED TO UTILITIES FOR EVALUATION. CLEANING OF THE SANITARY LINE WILL FIRST BE REQUIRED WITH A CITY INSPECTOR PRESENT. IF ANY RESTORATION OR REPLACEMENT OF THE SANITARY SERVICE WILL BE REQUIRED OF THE DEVELOPER, IT WILL NEED TO BE INDICATED ON THE CIVIL BUILDING CONSTRUCTION PLANS.
4. A UTILITY CONSTRUCTION PERMIT IS REQUIRED PRIOR TO ANY UTILITY CONSTRUCTION IN THE R/W OR ASSOCIATED WITH AN FDEP PERMIT.
5. THE DEVELOPER WILL CAP UNUSED WATER AND WASTEWATER SERVICES SERVICING THIS SITE AT THE MAIN CONNECTION POINT. THEY SHALL BE ABANDONED AND GROUT FILLED OR REMOVED.
6. ALL BACKFLOW PREVENTERS SHALL BE REDUCED PRESSURE ZONE DEVICES AND USC APPROVED.
7. ABANDONMENT OF UTILITIES AND OR INSTALLATION OF PROPOSED UTILITIES LOCATED IN THE R/W WILL BE ACCOMPLISHED BY THE OWNER THROUGH THE ISSUANCE OF A R/W USE AND UTILITY CONSTRUCTION PERMIT.
8. THE VALVES LOCATED N AUDUBON PLACE FOR THE 2\"/>

CITY OF SARASOTA SANITARY SEWER NOTES:

1. VIDEO TESTING OF THE SANITARY WASTEWATER LATERALS WILL BE PERFORMED PRIOR TO THE ISSUANCE OF THE CITY OF SARASOTA UTILITY PERMIT AND ALL NECESSARY FDEP REQUIREMENTS WILL BE ADHERED TO.
2. A VIDEO INDICATING THE EXISTING CONDITION OF THE SANITARY WASTEWATER LATERALS PROPOSED TO BE USED WILL NEED TO BE PROVIDED TO THE CITY UTILITY DEPT FOR REVIEW. IF THEY ARE FOUND TO NEED REPAIR OR ARE UNACCEPTABLE FOR USE, REPAIR OR REPLACEMENT OF THE SANITARY SERVICES WILL NEED TO BE PROVIDED BY THE DEVELOPER/OWNER AND IT WILL NEED TO BE INDICATED ON THESE PLANS.



CALL BEFORE YOU DIG!
"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770

THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

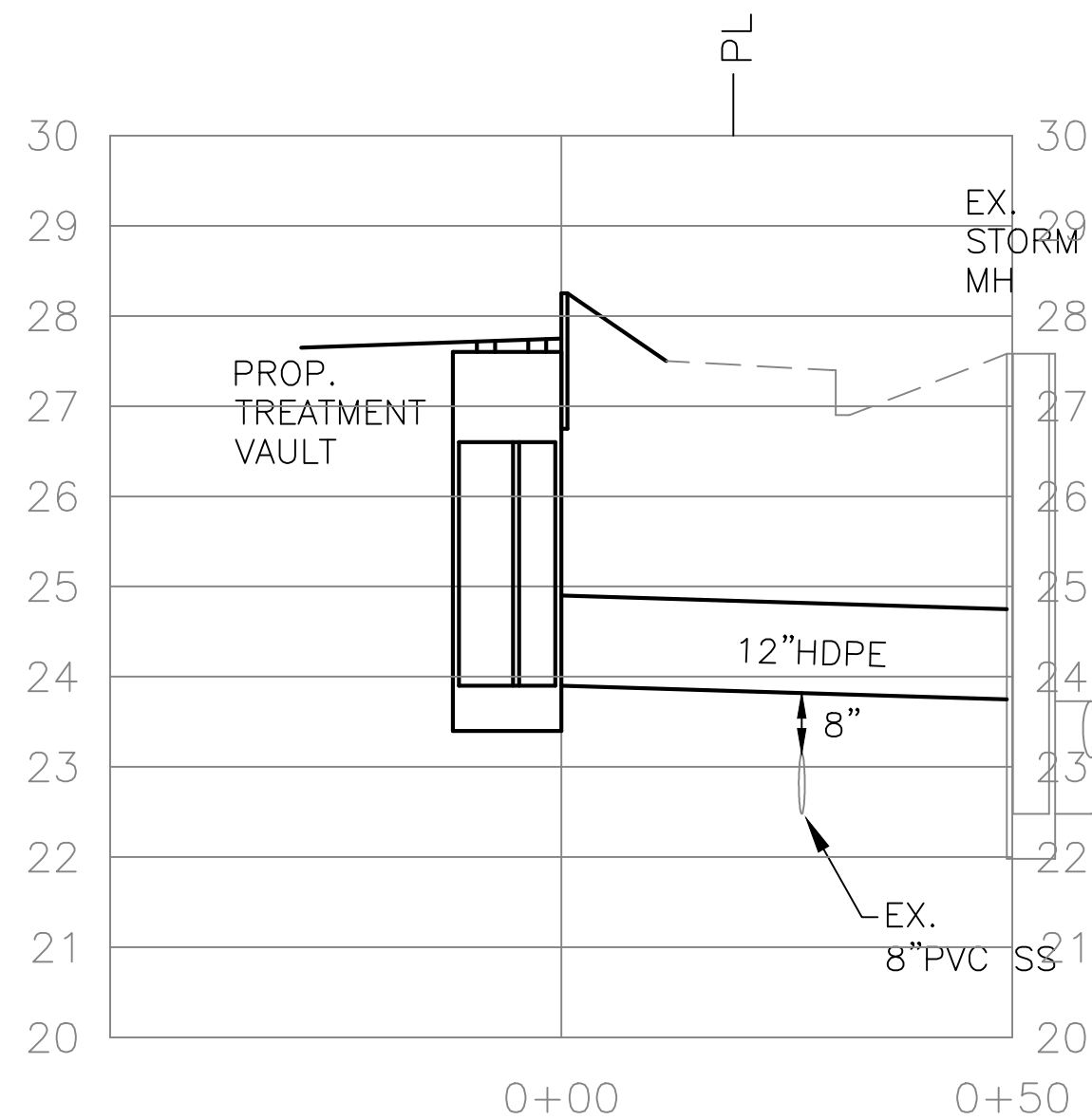
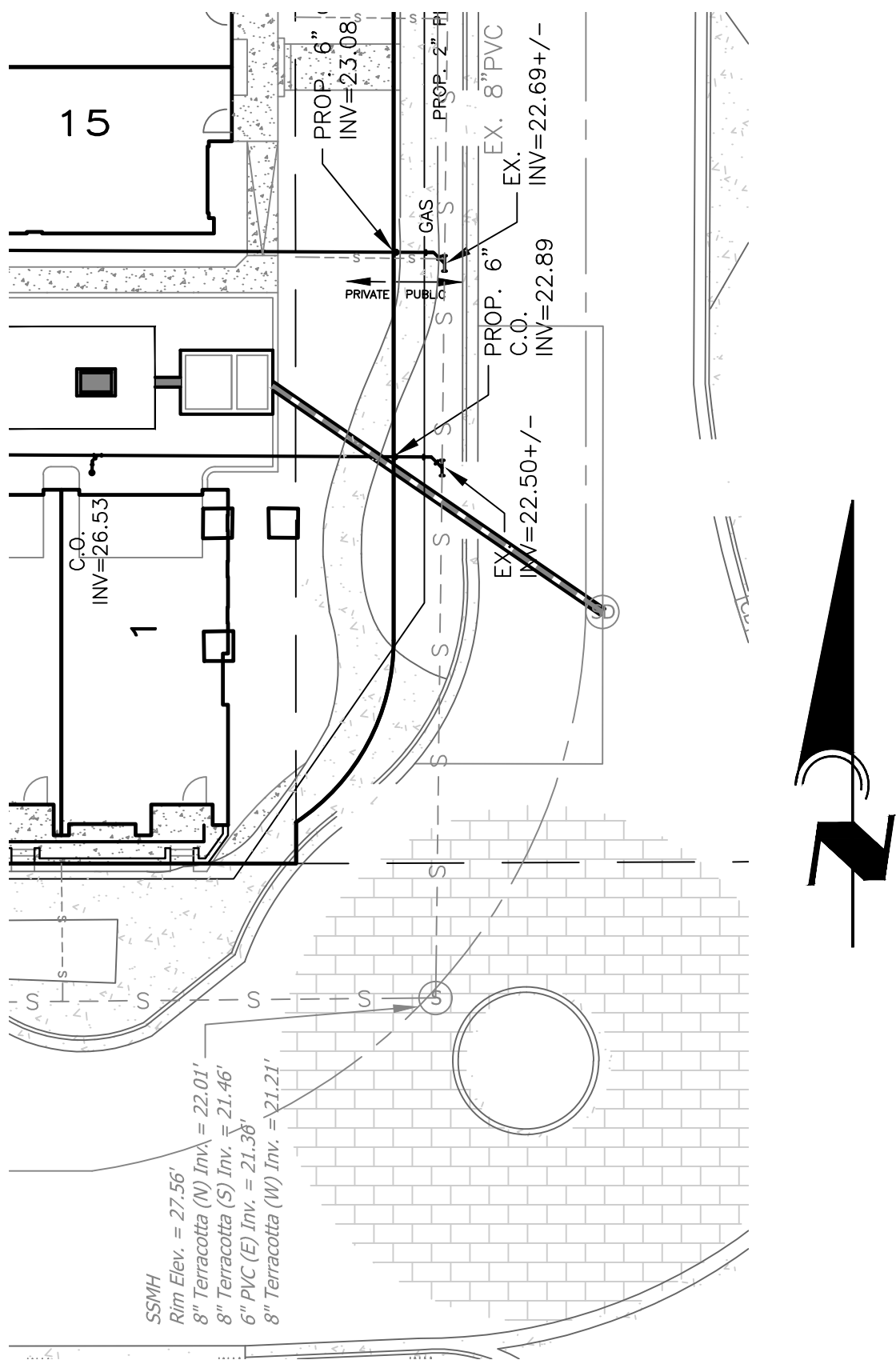
REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFWM 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/3/16	UTILITY 06/29/16

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

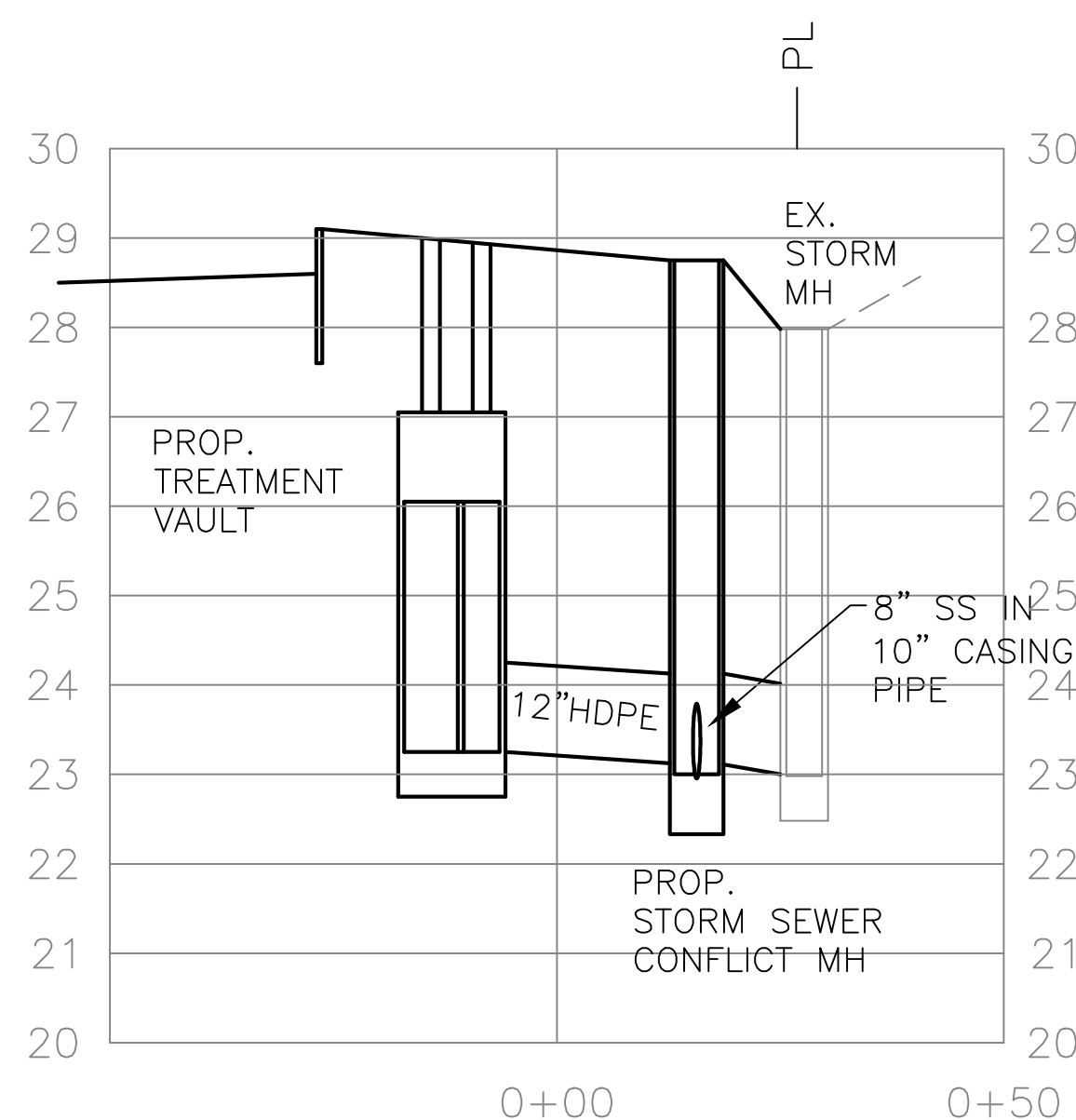
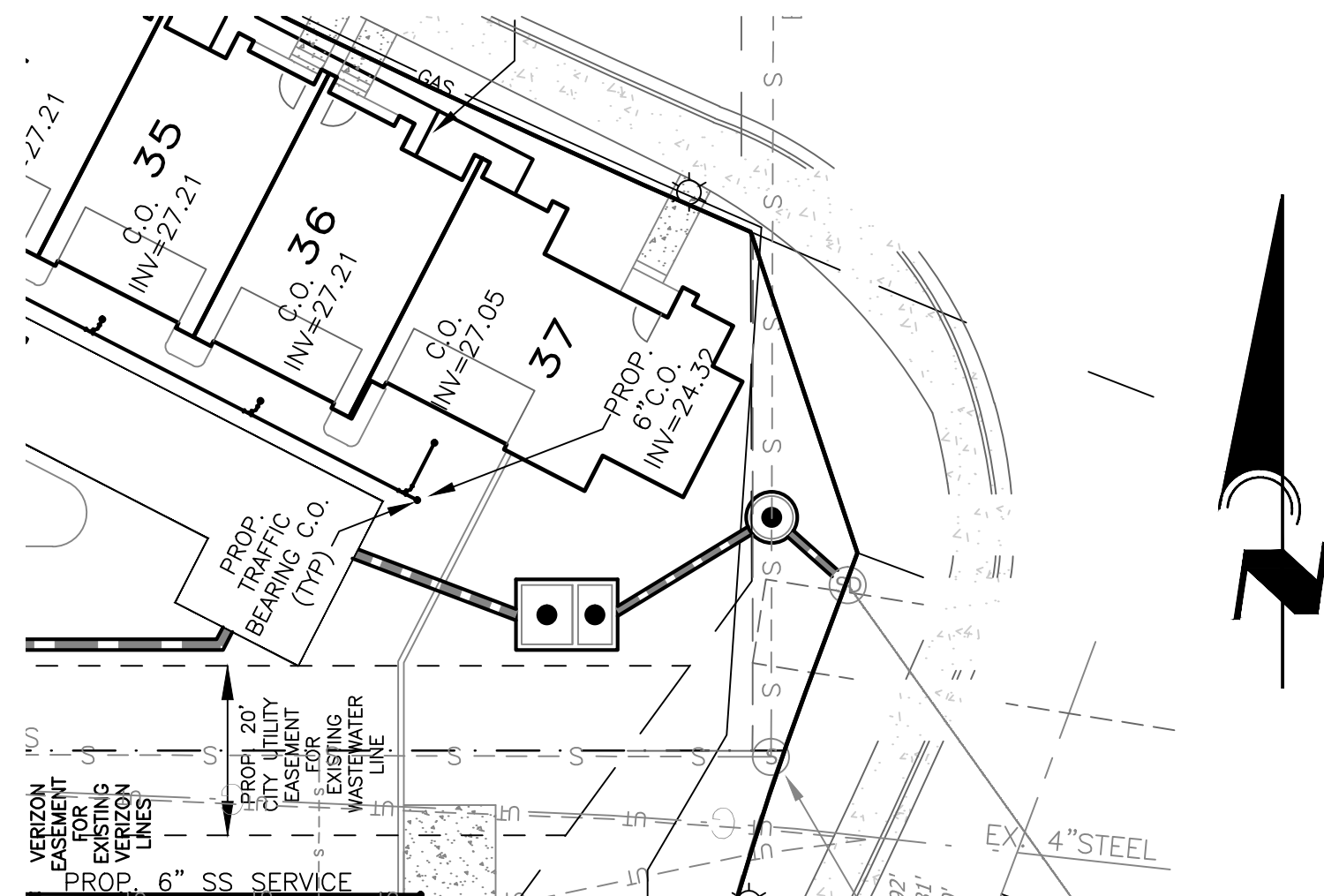
PROJ: SCHOOL AVENUE TOWNHOMES
SCALE: 1"=20'
DATE: 12/16/15
CLIENT: ICON RESIDENTIAL
DESC: MASTER UTILITY PLAN

APPROVED BY: SEAN R. CROWELL, PE
FLORIDA CERTIFICATE NO: 58584

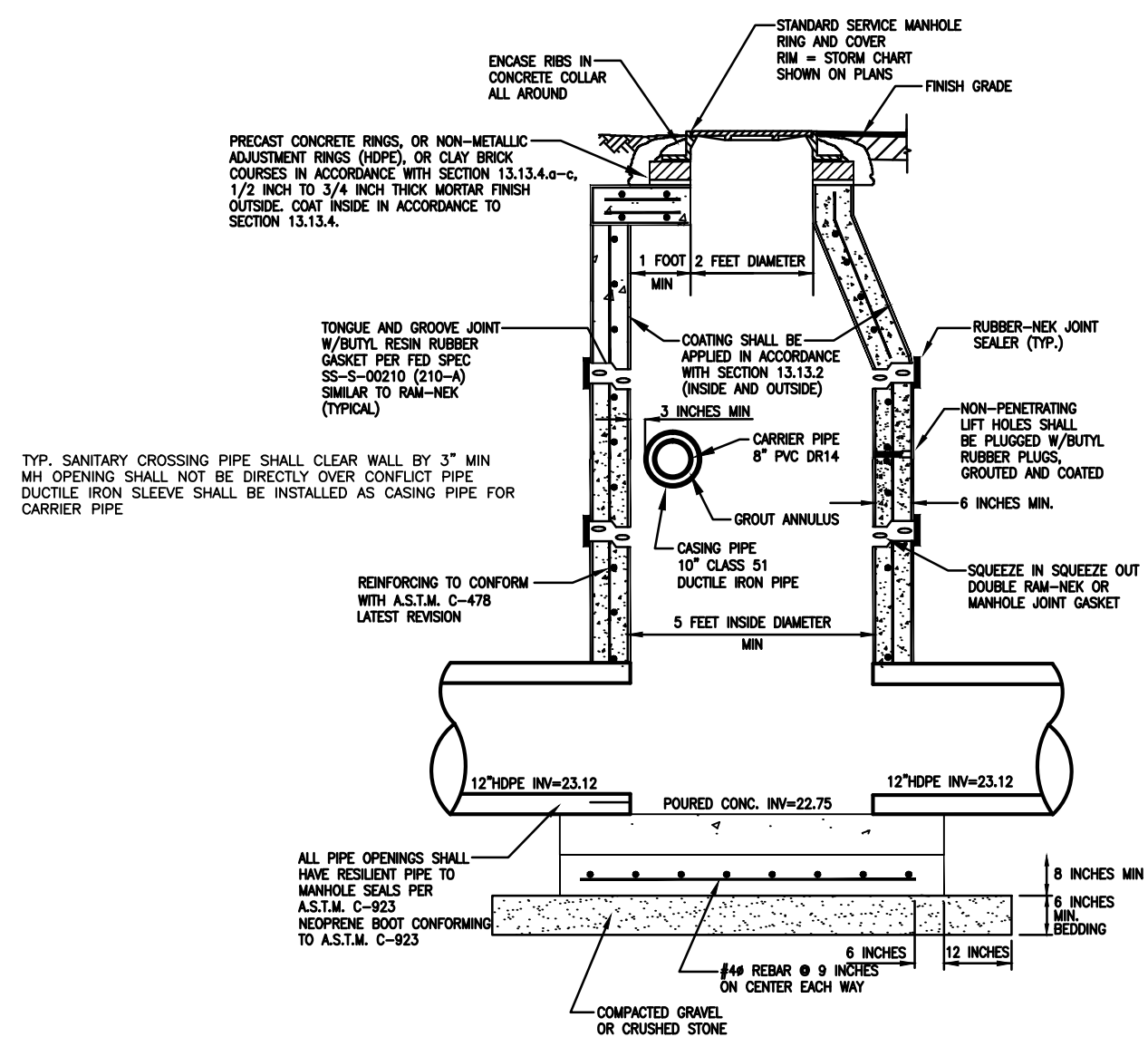
DRAWN BY: SRC
CAD FILE: ICON01MUP
JOB NO: ICON0001
DRWG. NO: 8



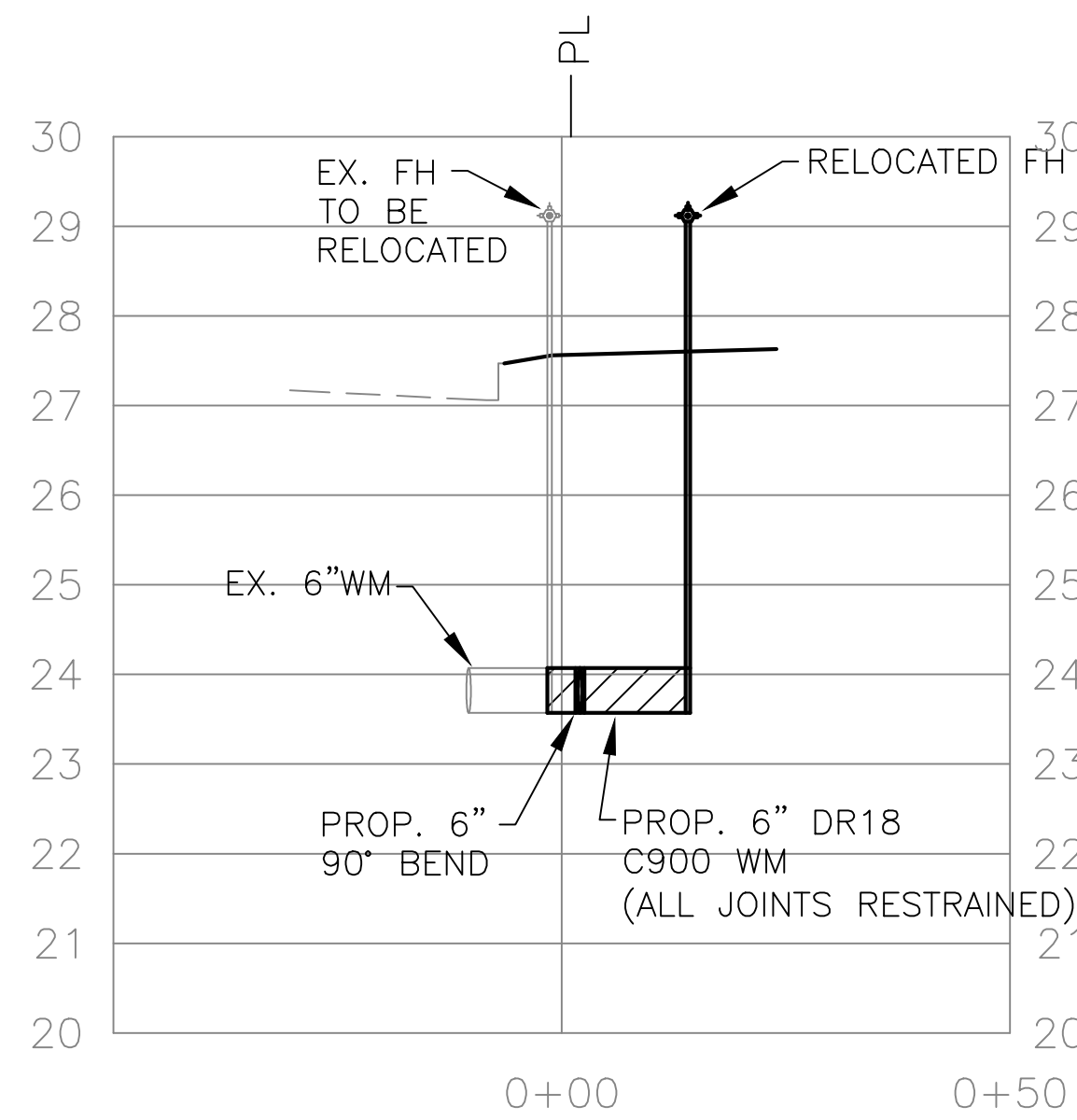
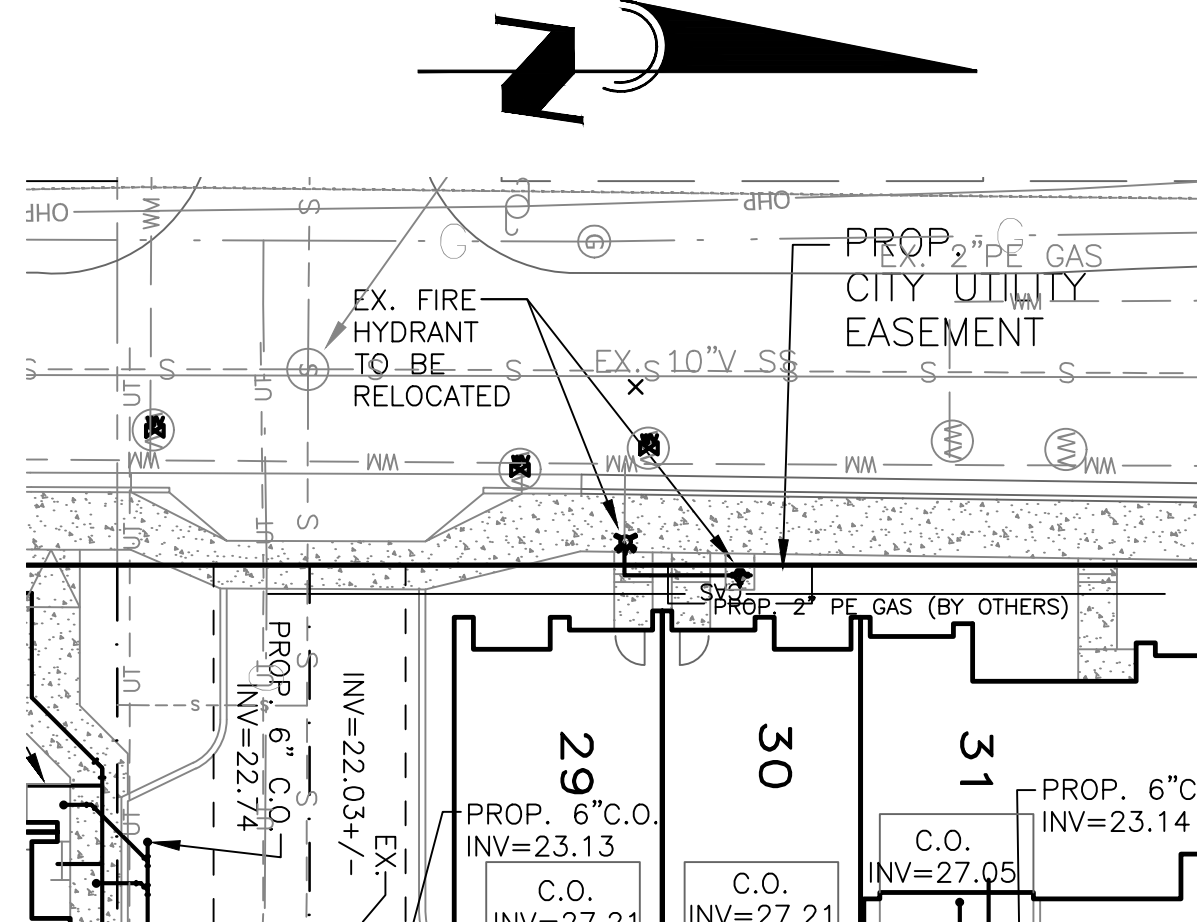
SOUTH STORM-SANITARY PROFILE
VERT: 1"=20'
HORIZ: 1"=2'



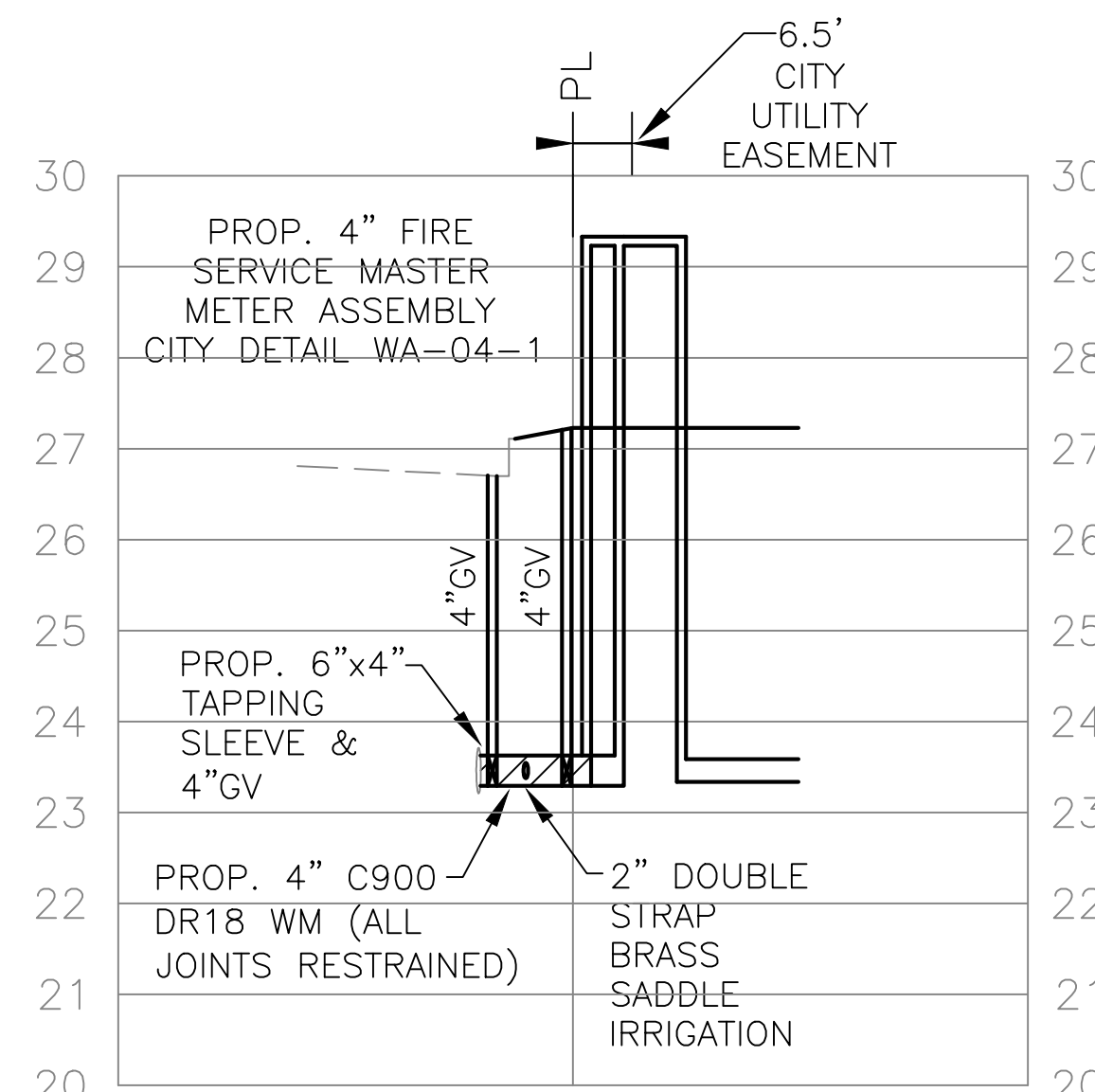
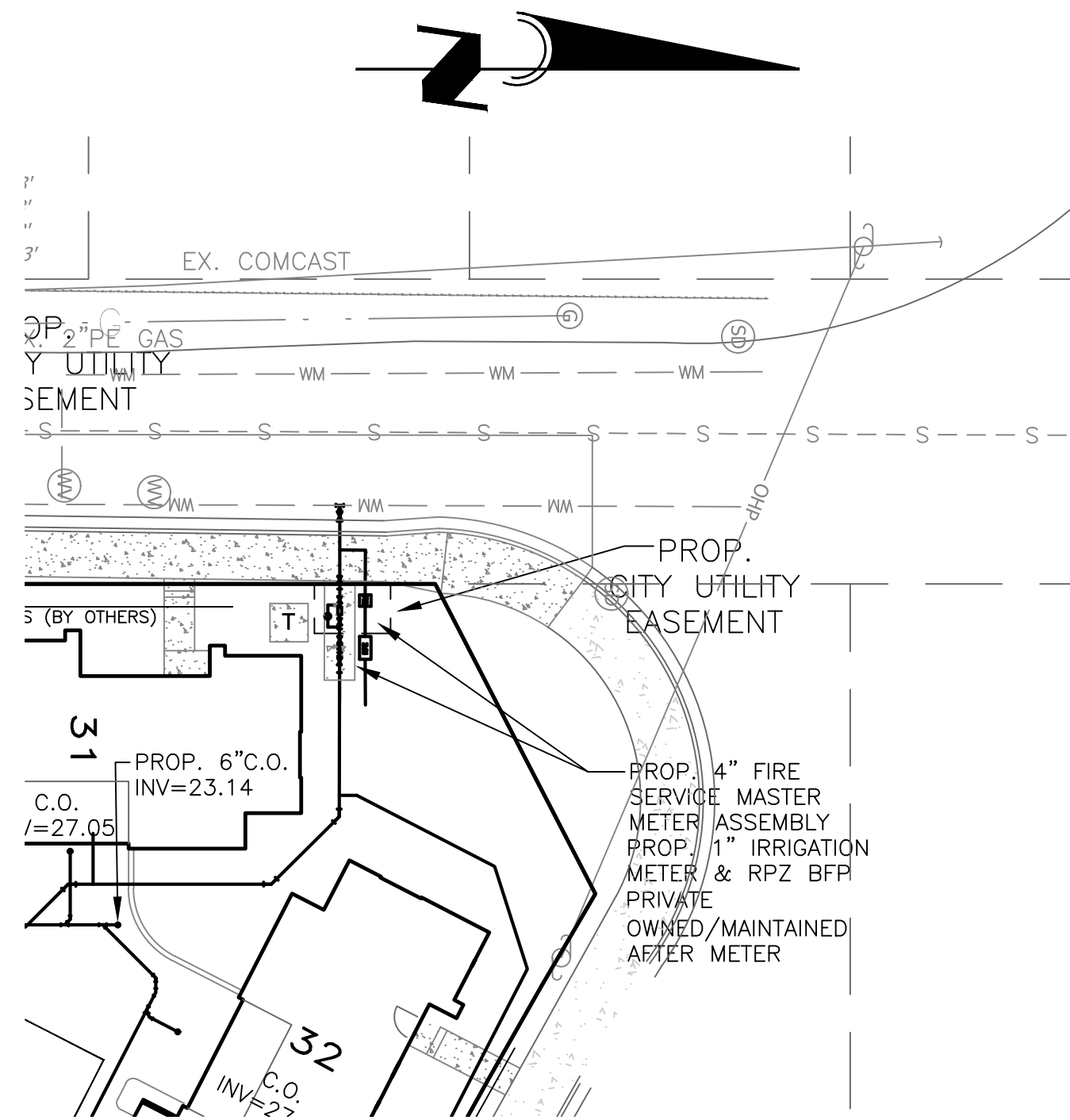
NORTH STORM-SANITARY PROFILE
VERT: 1"=20'
HORIZ: 1"=2'



STORM SEWER CONFLICT MANHOLE
VERT: 1"=20'
HORIZ: 1"=2'



FIRE HYDRANT PROFILE
VERT: 1"=20'
HORIZ: 1"=2'



WATER SERVICE PROFILE
VERT: 1"=20'
HORIZ: 1"=2'



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"SUNSHINE STATE ONE-CALL CENTER"
1-800-432-4770
THE CONTRACTOR SHALL NOTIFY "SUNSHINE STATE ONE-CALL CENTER" AND ALL OTHER UTILITIES FOR LOCATION OF EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS		
BY	DATE	DESCRIPTION
SRC	05/5/16	SWFWMD 04/8/16
SRC	06/3/16	ENGINEERING 05/11/16, UTILITY 05/19/16
SRC	06/3/16	UTILITY 06/29/16

ENGINEERING, INC.
8340 CONSUMER COURT
SARASOTA, FL 34240
EB #4334
PHONE: (941) 377-9178

SCHOOL AVENUE TOWNHOMES		
SCALE: 1"=20'	APPROVED BY:	DRAWN BY: SRC
DATE: 12/16/15	SEAN R. CROWELL, PE FLORIDA CERTIFICATE NO: 58584	CAD FILE: ICON01MUP
CLIENT: ICON RESIDENTIAL	JOB NO: ICON0001	JOB NO: ICON0001
DESC: PLAN & PROFILES	DRWG. NO. 8A	DATE:



The Ringling

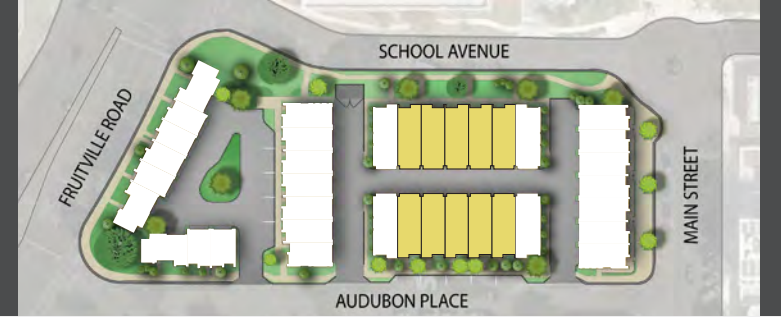
4 Bedroom/ 3.5 Bath

Conditioned: 2,598 sf

Garage: 427 sf

Terrace & Balcony: 218 sf

Roof Terrace: 419 sf



1st Floor



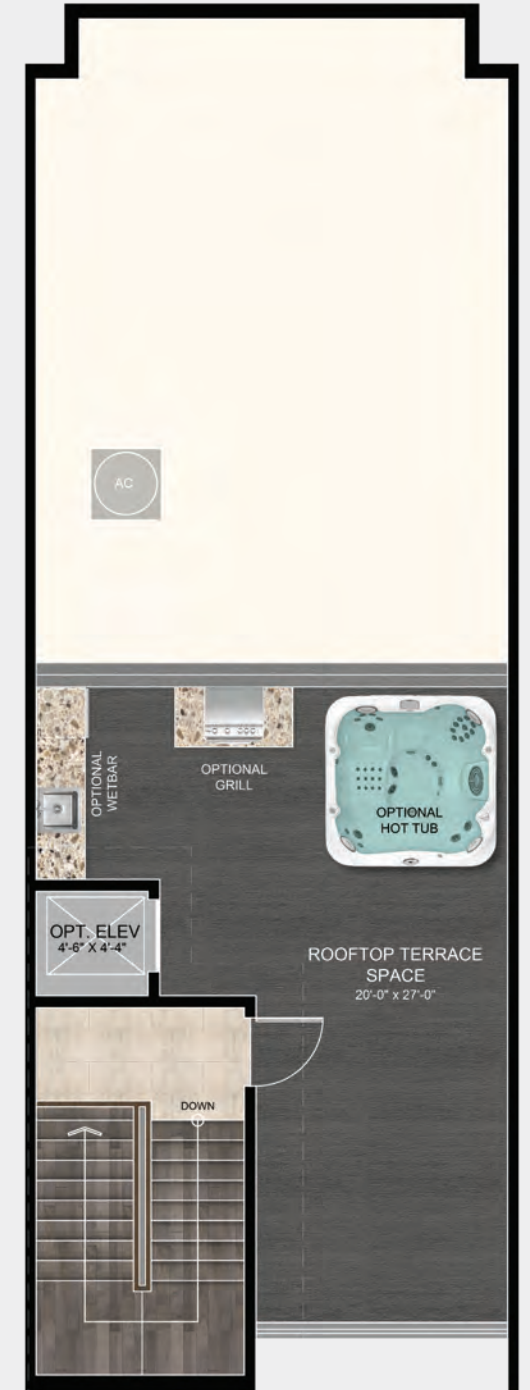
2nd Floor



3rd Floor



4th Floor





The Calder

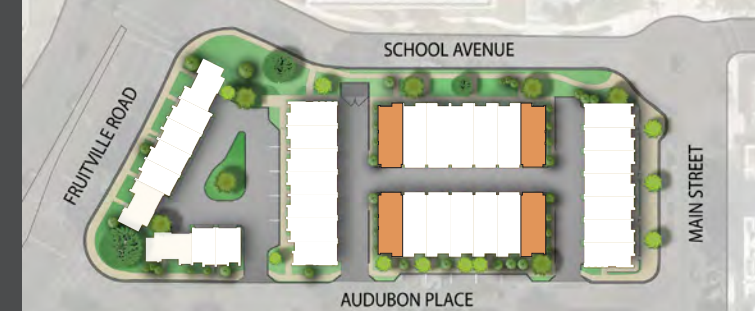
3 Bedroom/ 3.5 Bath

Conditioned: 2,875 sf

Garage: 448 sf

Terrace & Balcony: 241 sf

Roof Terrace: 419 sf



1st Floor



2nd Floor



3rd Floor



4th Floor



These drawings are conceptual only and are for the convenience of reference. They should not be relied upon as representations, express, or implied, of the final detail of the residences. Units shown are examples of the unit types and may not depict actual units. May also be built in reverse or mirrored image than shown. Stated square footages and ranges for particular unit type and are measured to the exterior boundaries of the exterior walls and the centerline of interior demising and in fact vary from the area that would be determined by using the description and definition of the "Unit" set forth in the Declaration (which generally only includes the interior airspace between the perimeter walls and excludes interior structural components). Development plans are in progress and subject to change without notice. No guarantees are made regarding any component not yet constructed.



The Albers

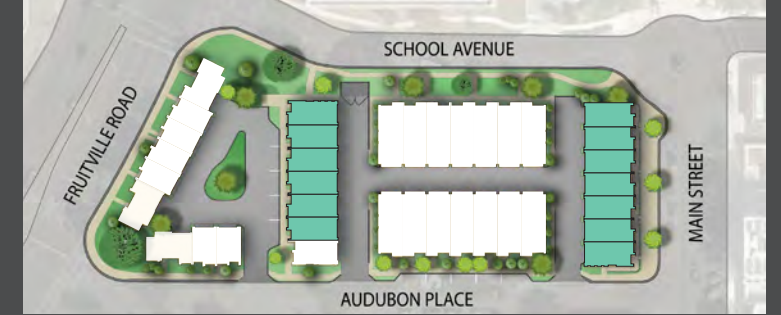
3 Bedroom/ 3.5 Bath

Conditioned: 2,413 sf

Garage: 427 sf

Balcony: 23 sf

Roof Terrace: 310 sf

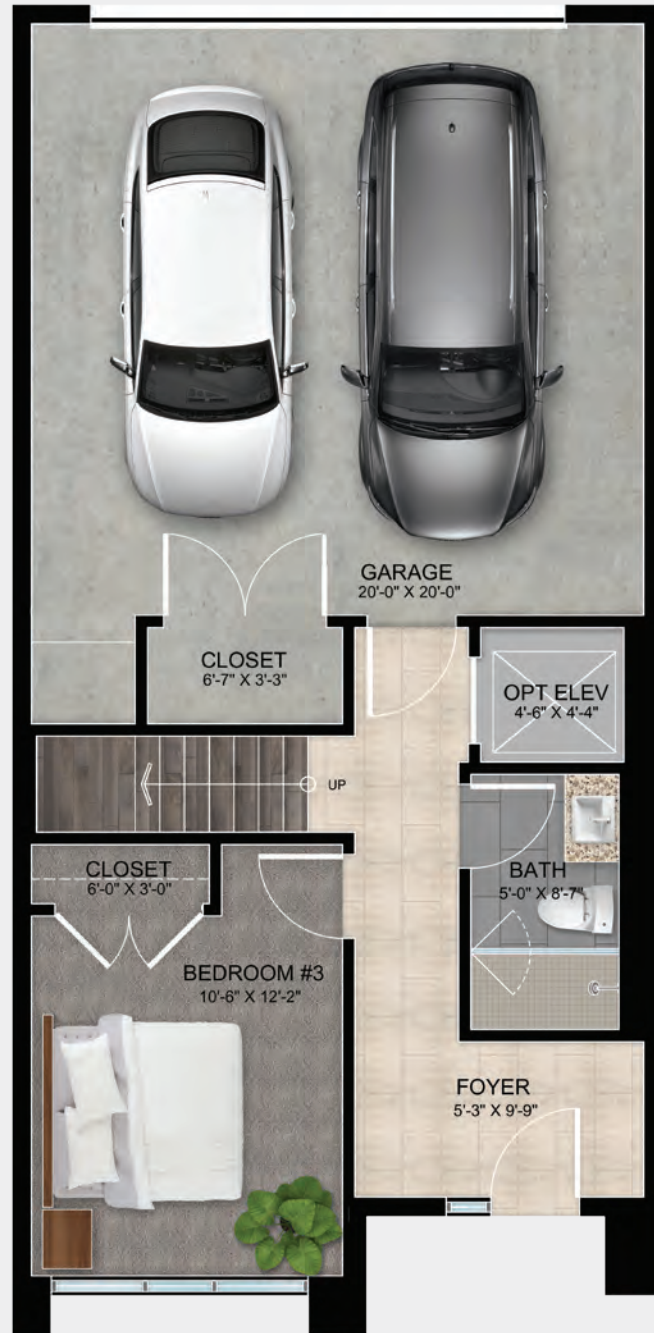


1st Floor

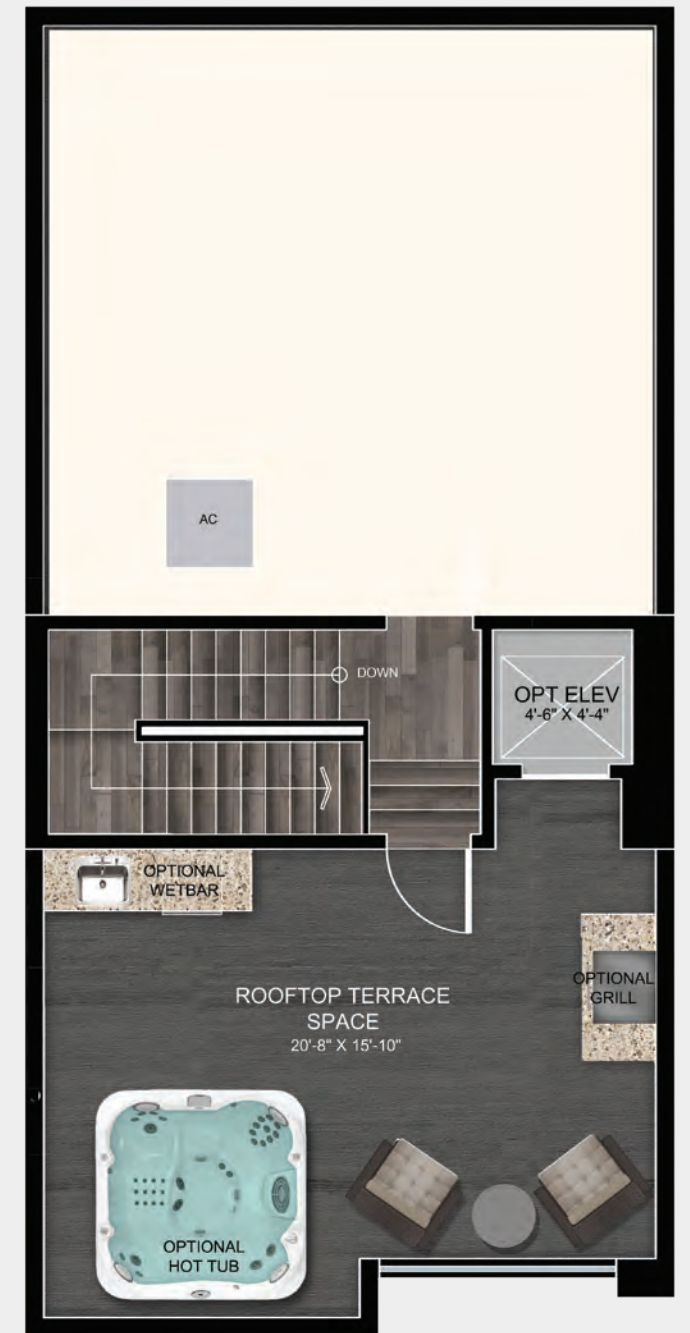
2nd Floor

3rd Floor

4th Floor



END UNIT
WINDOW
LOCATIONS



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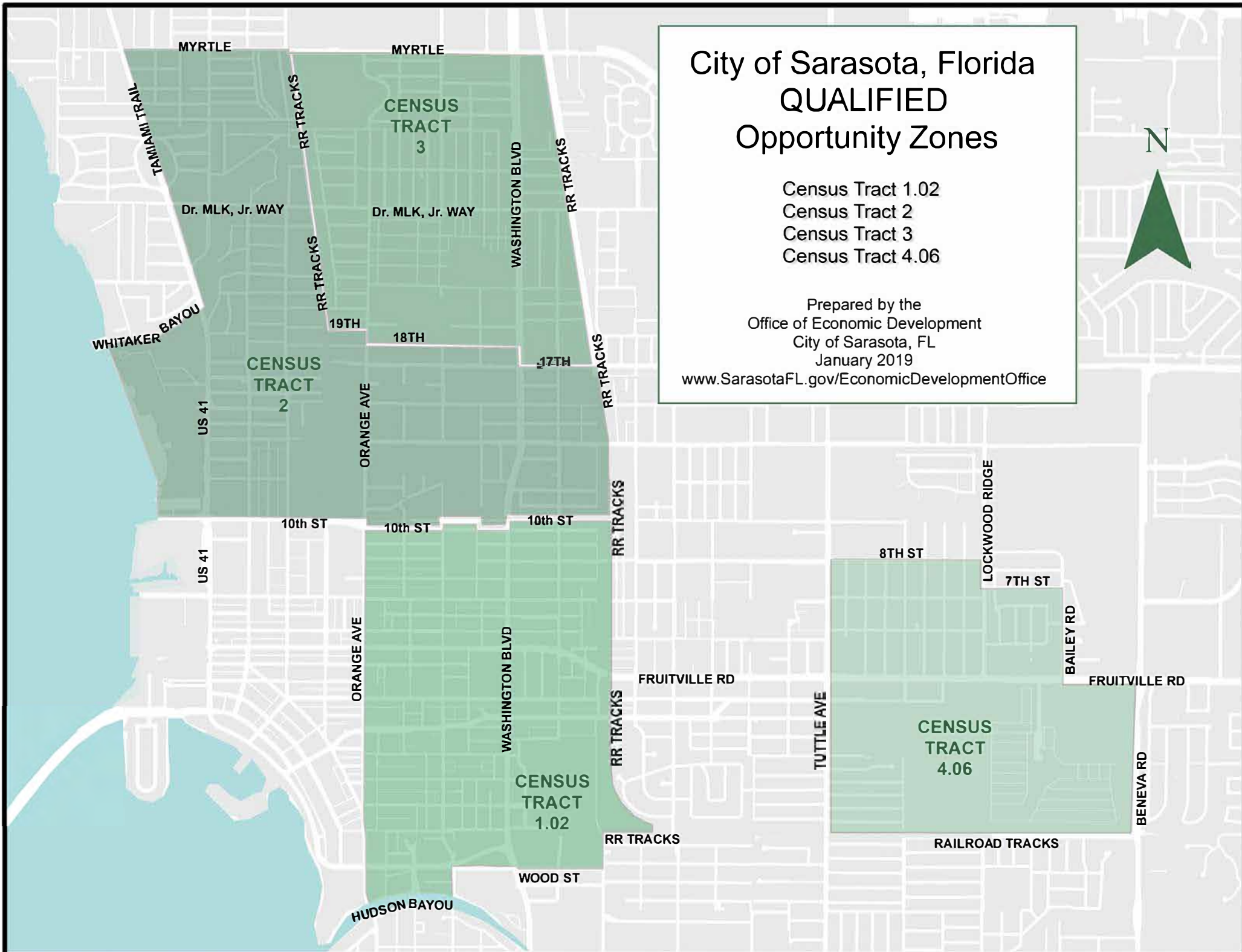
City of Sarasota, Florida QUALIFIED Opportunity Zones

Census Tract 1.02
Census Tract 2
Census Tract 3
Census Tract 4.06

Prepared by the
Office of Economic Development
City of Sarasota, FL
January 2019

www.SarasotaFL.gov/EconomicDevelopmentOffice

N



Low Tax Opportunity Zone FAQ

Q: What is a Low Tax Opportunity Zone?

A: Opportunity Zones, as established in the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for job creators. Opportunity Zones maintain their designation for 10 years. The program encourages private investment in these zones by providing a tax incentive for investors who invest in qualified businesses and property in these areas.

Investors, such as businesses, developers and financial institutions that invest in targeted areas can defer capital gains taxes through investments in federally-established Opportunity Funds.

Q: How was the Opportunity Zone program created?

A: The Opportunity Zone program was created as a part of the Tax Cuts and Jobs Act of 2017, signed by President Donald Trump in December 2017.

Q: Who determines Opportunity Zones?

A: The act allows the Governor of each state to nominate up to 25 percent of eligible census tracts as Opportunity Zones. States then submit their nominations to the U.S. Department of the Treasury, which has 30 days to certify the Opportunity Zones or provide further guidance to the state.

Q: What are census tracts?

A: Census tracts are small, relatively permanent statistical subdivisions of a county that are updated before each U.S. Census. The U.S. Census counts every resident every 10 years. Census tracts average about 4,000 people. A census tract usually covers a geographically contiguous area. For example, in urban areas, census tracts correspond roughly to neighborhoods.

Q: How many census tracts can Florida nominate?

A: Florida can nominate 427 census tracts based on the federal requirements for this program.

Q: What are low-income census tracts?

A: The poverty rate for each census tract is based on how household income compares to the national thresholds calculated by the Census Bureau. A census tract is designated as a Low-Income Community when 20 percent or more of households in the

tract fall below the poverty line (for their household size) or the median family income in the tract is below 80 percent of the statewide median income.

Q: What is a contiguous tract, and were those included in the nomination?

A: The tax bill allowed 5% of tract nominations to be tracts that did not meet the low-income designation but were contiguous, or next to, other tracts that did meet the criteria. Florida chose not to nominate contiguous tracts so that the areas with the most need could be designated.

Q: How were Opportunity Zones chosen to be nominated?

A: DEO's economists used a combination of data and project requests to determine the Zones. A statistical model was created using census tract data and other economic indicators, such as poverty level, unemployment rates and population density. DEO used a proportional method of nominating tracts so that every county received at least one census tract nomination. Finally, DEO incorporated into the model requests from city and county governments, regional planning councils, nonprofits, investors, developers and others.

Q: Why were some requests not included as an Opportunity Zone?

A: DEO received requests for more than 1,200 census tracts, which is more than the 427 the state can nominate. Feedback was incorporated as much as possible, and balanced with the economic analysis. For example, a request in an area with very low unemployment may not have been chosen.

Q: How do Florida communities benefit from the Opportunity Zone program?

A: Counties across Florida benefit from having another tool in their economic development toolbox. From rural communities to urban areas, this program will allow investors to strategically invest in targeted communities. This will build on each county's economic development plan, bringing more jobs and capital investment into every county across Florida.

Q: What are the next steps?

A: The U.S. Department of the Treasury has 30 days to certify that the nominated tracts meet the criteria in the law. The Internal Revenue Service intends to start a rulemaking process to designate Opportunity Funds to be eligible to invest in these zones. More information about this process can be found here:

<https://www.irs.gov/pub/irs-drop/rp-18-16.pdf>

<https://home.treasury.gov/news/press-release/sm0283>

<https://www.cdfifund.gov/Pages/Opportunity-Zones.aspx>

Bill Text: <https://www.congress.gov/115/bills/s293/BILLS-115s293is.pdf>

Q: What is Florida's role in the Opportunity Zone program moving forward?

A: The legislation provides Florida the ability to nominate census tracts for the designation of Opportunity Zones. Opportunity Funds and their investments will be private-sector driven. Once a zone is certified by the U.S. Department of the Treasury, local communities will promote their Opportunity Zones to qualified Opportunity Funds in order to secure investments and bring additional economic development to local businesses and families.

Q: What are Opportunity Funds?

A: Opportunity Funds will be designated through the U.S. Department of the Treasury and the Internal Revenue Service as eligible based on rulemaking that has not yet taken place. The Opportunity Funds must invest 90 percent of their fund in Opportunity Zones to receive the tax benefits, which will vary depending on the number of years the investment is held in the Zones.